



City of Sugar Land

Sugar Land 4B Corporation Agenda

Sugar Land City Hall
2700 Town Center
Boulevard North
Sugar Land, TX 77479

Wednesday, July 15, 2026
Sugar Land 4B Corporation Meeting
Cane Room 161
4:00 PM

I. Attention

Members of the City Council, Board and/or Commission may participate in deliberations of posted agenda items through video conferencing means. A quorum of the City Council, Board and/or Commission will be physically present at the above-stated location, and said location is open to the public. Audio/Video of open deliberations will be available for the public to hear/view; and are recorded as per the Texas Open Meetings Act.

The meeting will live stream at <https://youtube.com/live/-xyIf9VNeYY?feature=share>.

II. Call to Order

III. Public Comment

Pursuant to Texas Government Code section 551.007, citizens are permitted to address the City Council, Board, and/or Commission in person regarding matters posted for consideration or workshop on the agenda. Each speaker must complete a "Request to Speak" form and give it to the City Secretary or designee, prior to the beginning of the meeting.

Each speaker is limited to 3 minutes, speakers requiring a translator will have 6 minutes, regardless of the number of agenda items to be addressed. Comments or discussion by City Council, Board, and/or Commission members, will only be made at the time the subject is scheduled for consideration.

For questions or assistance, please contact the Office of the City Secretary (281) 275-2730.

IV. Minutes

A. MINUTES

Consideration of and action on the minutes of the May 20, 2026, meeting.
Linda Mendenhall, City Clerk

V. Public Hearings

A. PUBLIC HEARING 4:00 P.M.: Review and hear all persons desiring to be heard on the Performance Agreement between Sugar Land 4B Corporation, Vino & Vinyl, LLC, and LCFRE Sugar Land Town Square, LLC.

Consideration of and action on the Performance Agreement between Sugar Land 4B Corporation, Vino & Vinyl, LLC, and LCFRE Sugar Land Town Square, LLC., under the Retail Refresh Grant Program, for a reimbursement incentive not to exceed \$120,000.00.

Jonathan Soriano, Community Development Manager

VI. Budget

A. FY 2027 BUDGET WORKSHOP

Review of and discussion on the proposed budget for the Sugar Land 4B Corporation for Fiscal Year 2027.

Justyn Mejorado, Assistant Director of Budget

VII. Director's Report

A.

- Marketing, Promotions, and Events
- Strategic and Capital Projects
- Business Recruitment and Retention Efforts

Devon Rodriguez, Director of Redevelopment

VIII. Adjournment

The Sugar Land 4B Corporation reserves the right to adjourn into Executive Session at any time during this meeting for the purpose of consultation with the Attorney as authorized by Texas Government Code Sections 551.071 to discuss any of the matters listed above.

If you plan to attend this public meeting and you have a disability that requires special arrangements at the meeting, please contact the City Secretary, (281) 275-2730. Requests for special services must be received 48 hours prior to the meeting time. Reasonable accommodations will be made to assist your needs.

The agenda and supporting documentation is located on the [City Website](#) under meeting agendas.

Posted on this 9th day of July 2026 at 12:00 P.M.



Sugar Land 4B Corporation Agenda Request

July 15, 2026

Agenda Request No: IV.A.

Agenda of: Sugar Land 4B Corporation Meeting

Initiated by: Nicole Fontenette, Agenda & Public Meeting Coordinator

Presented by: Linda Mendenhall, City Clerk

Responsible Department: Admin

Agenda Caption:

MINUTES

Consideration of and action on the minutes of the May 20, 2026, meeting.

Recommended Action:

Approval of the minutes of the May 20, 2026, meeting.

Executive Summary:

Consideration of and action on the minutes of the May 20, 2026, meeting.

Budget

Expenditure Required: n/a

Current Budget: n/a

Additional Funding: n/a

Funding Source: n/a

Account Number (ORG-OBJ-Project): n/a

Attachments

1. 5.20.26 Sugar Land 4B Corporation Meeting Minutes



City of Sugar Land

Sugar Land 4B Corporation Minutes

Sugar Land City Hall
2700 Town Center
Boulevard North
Sugar Land, TX 77479

Wednesday, May 20, 2026

Sugar Land 4B Corporation Meeting Minutes

City Council Chamber

4:00 PM

I. Attention

Members of the City Council, Board and/or Commission may participate in deliberations of posted agenda items through video conferencing means. A quorum of the City Council, Board and/or Commission will be physically present at the above-stated location, and said location is open to the public. Audio/Video of open deliberations will be available for the public to hear/view; and are recorded as per the Texas Open Meetings Act.

The meeting will live stream at <https://youtube.com/live/yB-fCSCF3AA?feature=share>.

II. Call to Order

QUORUM PRESENT

Steve Bezecny, Stewart Jacobson, Mary Ryder, and Sanjay Singhal were present. Robert Boettcher arrived at 4:02 p.m. Kurt Kirchof and Alan Goodrich were absent.

III. Public Comment

Pursuant to Texas Government Code section 551.007, citizens are permitted to address the City Council, Board and/or Commission in person with regard to matters posted for consideration on the agenda. Each speaker must complete a "Request to Speak" form and give it to the City Secretary or designee, prior to the beginning of the meeting.

Each speaker is limited to 3 minutes, speakers requiring a translator will have 6 minutes, regardless of the number of agenda items to be addressed. Comments or discussion by City Council, Board, and/or Commission members, will only be made at the time the subject is scheduled for consideration.

For questions or assistance, please contact the Office of the City Secretary (281) 275-2730.

No members of the public addressed the Board.

IV. Minutes

A. MINUTES

Consideration of and action on the minutes of the February 18, 2026, meeting.

Linda Mendenhall, City Clerk

The Sugar Land 4B Corporation approved the February 18, 2026, meeting minutes with the following correction:

The Board approved the November 19, 2025, December 17, 2025, and January 21, 2026, Joint Sugar Land 4B Corporation and Sugar Land Development Corporation meeting minutes.

A motion to **Approve the February 18, 2026, meeting minutes with an amendment** was made by Stewart Jacobson and seconded by Mary Ryder; the motion **Passed**.

Ayes: Stewart Jacobson, Mary Ryder, Steve Bezecny, and Sanjay Singhal
Absent: Kurt Kirchof, Alan Goodrich, Rob Boettcher

V. Appointments

A. BUDGET COMMITTEE APPOINTMENTS

Consideration of and action on the appointment of two Directors to the Fiscal Year 2026-2027 Budget Committee.

Jessica Huble, Assistant Director of Redevelopment

Jessica Huble, Assistant Director of Redevelopment, gave a presentation, made comments, and answered questions from the Board.

The Sugar Land 4B Corporation appointed Mary Ryder and Alan Goodrich as the Directors of the Fiscal Year 2026-2027 Budget Committee.

A motion to **Approve Mary Ryder and Alan Goodrich as the Directors of the 2026-2027 Budget Committee**, was made by Sanjay Singhal and seconded by Rob Boettcher; the motion **Passed**.

Ayes: Stewart Jacobson, Mary Ryder, Steve Bezecny, Rob Boettcher, Sanjay Singhal

Absent: Kurt Kirchof, Alan Goodrich

VI. Workshop

A. SUGAR LAND 4B CORPORATION PARKS PROJECTS UPDATE

Review of and discussion on the updates of the parks projects funded by Sugar Land 4B Corporation.

Fenglin du, Parks Development Manager

Fenglin Du, Parks Development Manager, gave a presentation, made comments, and answered questions from the Board.

VII. Director's Report

A.

- Marketing, Promotions, and Events
- Strategic and Capital Projects
- Business Recruitment and Retention Efforts

Devon Rodriguez, Director of Redevelopment

Stewart Jacobson left the meeting at 4:45 p.m.

Devon Rodriguez, Director of Redevelopment, gave a presentation, made comments, and answered questions from the Board.

VIII. Adjournment

A motion to **Adjourn at 4:58 p.m.**, was made by Sanjay Singhal and seconded by Mary Ryder; the motion **Passed**.

Ayes: None

Ayes: Mary Ryder, Steve Bezecny, Rob Boettcher, Sanjay Singhal

Absent: Kurt Kirchof, Alan Goodrich, Stewart Jacobson

Linda Mendenhall, City Clerk





Sugar Land 4B Corporation Agenda Request

July 15, 2026

Agenda Request No: V.A.

Agenda of: Sugar Land 4B Corporation Meeting

Initiated by: Jonathan Soriano, Community Development Manager

Presented by: Jonathan Soriano, Community Development Manager

Responsible Department: Redevelopment

Agenda Caption:

PUBLIC HEARING 4:00 P.M.: Review and hear all persons desiring to be heard on the Performance Agreement between Sugar Land 4B Corporation, Vino & Vinyl, LLC, and LCFRE Sugar Land Town Square, LLC.

Consideration of and action on the Performance Agreement between Sugar Land 4B Corporation, Vino & Vinyl, LLC, and LCFRE Sugar Land Town Square, LLC., under the Retail Refresh Grant Program, for a reimbursement incentive not to exceed \$120,000.00.

Recommended Action:

Hold a Public Hearing and approve the Performance Agreement between Sugar Land 4B Corporation, Vino & Vinyl, LLC, and LCFRE Sugar Land Town Square, LLC.

Executive Summary:

The City of Sugar Land's Strategic Action Plan was approved in January 2025 and prioritizes actively fostering the redevelopment of key sites, so they enhance community amenities and provide forward-thinking housing options. Fostering a commercial and residential redevelopment environment using incentives will allow the City to further drive the types of development and change it wants to see.

On October 15, 2025, the Sugar Land 4B Corporation Board of Directors approved Resolution No. SL4B-R-25-09, adopting a 4B Corporation policy for a Retail Refresh Grant Program. This program will promote new or expanded business enterprises by stimulating redevelopment, reinvestment, and aesthetic improvements for aging retail properties and commercial centers in Sugar Land. The program provides incentives for eligible commercial center projects as well as for eligible projects involving experiential retail, innovative and market-driven concepts, and infill development on underutilized sites.

All applicants will be considered on a case-by-case basis and are encouraged to submit a project proposal that accomplishes two or more of the following preferred development outcomes:

- Modernization of building facades
- Creation of public spaces
- Promotion of walkability
- Creation of vibrant activity centers
- Enhancement of parking infrastructure
- Stimulation of a substantial economic impact
- Supporting foundational retail infrastructure in key opportunity sites

The program policy allows for grants to be awarded by a performance agreement outlining a reimbursement for new, qualifying projects that consist of qualifying expenditures. Qualifying expenditures are defined as portions of the qualifying project that are eligible for reimbursement under Sections 501.103 and 505.152 of the Development Corporation Act.

In March 2026, VINO & VINYL applied for the Retail Refresh Grant. The proposed project includes the expansion of the current business site and the build-out of an additional 2,000 sq. ft. adjacent to its existing business at the Project Site, including façade improvements, patio and public space enhancements, expanded retail areas for wine and record sales, a private event room, custom bar areas, beverage spaces, and updated interior finishes throughout both the new and pre-existing spaces.

The terms of the agreement include the following:

- One (1) year Performance Agreement between Sugar Land 4B Corporation, Sugar Land 4B Corporation, VINO & VINYL, LLC (Company), and LCFRE Sugar Land Town Square, LLC (Landlord).
- Company must begin construction of the project within one (1) year of the effective date and complete construction within one (1) year from the date the notice to proceed is issued to its general contractor for the project.
- Within sixty (60) days following the completion date, Company must submit to the SL4B receipts and invoices showing that at least \$488,000.00 was spent on materials and services in the design and for the construction of the project, including at least \$120,000.00 on the qualifying improvements. Company must submit a complete reimbursement package in order to be eligible for the reimbursement incentive of \$120,000.00.
- Beginning on the Completion of Construction date and continuing until at least one (1) year thereafter, Company will create and maintain at least five (5) employees at the Project Site. No later than 60 days following Completion of Construction, Company must submit to the SL4B documents showing that the Company has retained or created at least five (5) employees at the project site. Additionally, there are clawback provisions in place if the minimum number of employees is not created or maintained.

The reimbursement payment is anticipated to be made in Fiscal Year 2027. The Fiscal Year 2027 budget has capacity to accommodate the \$120,000 incentive payment, with \$2 million budgeted

in the Reserve for Opportunities.

The proposed project and performance agreement terms have been reviewed by the Economic Development Committee. By approving this proposed performance agreement, the SL4B Board of Directors finds portions of the qualifying project eligible for reimbursement under Sections 501.103 and 505.152 of the Development Corporation Act and comply with the Retail Refresh Grant program policy and criteria.

Staff recommends holding a public hearing and approving the Performance Agreement between the Sugar Land 4B Corporation, Vino & Vinyl, LLC, and LCFRE Sugar Land Town Square, LLC.

Budget

Expenditure Required: \$120,000.00

Current Budget: \$291,827.10

Additional Funding: N/A

Funding Source: Reserve for Opportunities

Account Number (ORG-OBJ-Project): 7041190-561010

Attachments

1. Performance Agreement

**ECONOMIC DEVELOPMENT PERFORMANCE AGREEMENT
AMONG THE SUGAR LAND 4B CORPORATION, VINO & VINYL, LLC,
AND LCFRE SUGAR LAND TOWN SQUARE, LLC**

RECITALS:

WHEREAS, the City of Sugar Land adopted an economic development sales tax and created the Sugar Land 4B Corporation (the “SL4B”) to promote economic development activities as authorized by Chapters 501 through 505 of the Texas Local Government Code; and

WHEREAS, on or about October 15, 2025, the Board of Directors (“Board”) of the SL4B approved Resolution No. SL4B-R-25-09, adopting a corporation policy for an SL4B retail refresh grant program (the “Program”); and

WHEREAS, Vino & Vinyl (“Company”) rents space from LCFRE Sugar Land Town Square, LLC (“Landlord”), in the mixed-use commercial and residential center known as Sugar Land Town Square, located in Sugar Land, Texas; and

WHEREAS, Company has applied for a Reimbursement Incentive under the Program; and

WHEREAS, the SL4B has determined that Company’s Application is for a Qualifying Project that includes Qualifying Expenditures; and

WHEREAS, the SL4B, Company, and Landlord wish to enter into this Economic Development Performance Agreement providing for the payment of a Reimbursement Incentive to Company in consideration of Company completing Qualifying Improvements as part of the Project; and

NOW THEREFORE, for and in consideration of the mutual premises and promises contained herein, and other good and valuable consideration, the receipt and sufficient of which are hereby acknowledged, the SL4B, Company, and Landlord do hereby agree, covenant, and contract as set forth below:

AGREEMENT:

The SL4B, Company, and Landlord agree as follows:

1. Definitions. Capitalized terms not otherwise defined herein have the meaning assigned them in the Program. In this Agreement:

Act means the Development Corporation Act, codified in Chapters 501 through 505 of the Texas Local Government Code, as amended.

Agreement means this Economic Development Performance Agreement.

City means the City of Sugar Land, Texas.

Company means VINO & VINYL, a Texas limited liability company, the tenant at the Project Site.

Completion of Construction means the date on which construction of the Project is complete and Company has received a certificate of occupancy for the Project.

Employee means a person who:

- (a) Is a direct employee of Company; and
- (b) Regularly works at least 35 hours a week for the Company at the Project Site, excluding time taken for holidays, vacations, sick leave, or other regular leave.

Landlord means LCFRE Sugar Land Town Square, LLC, the owner of the Project Site, who Company has leased its space from.

Program means the SL4B Retail Refresh Grant Program, created by Resolution No. SL4B-R-25-09.

Project means the expansion of Company into, and buildout of, an additional 2,000.00 sq. ft. adjacent to its existing business at the Project Site, including façade improvements, patio and public space enhancements, expanded retail areas for wine and record sales, a private event room, custom bar areas, beverage spaces, and updated interior finishes throughout both the new and pre-existing spaces.

Project Site means 2245 Texas Drive, Suite 130, Sugar Land, TX 77479, which is leased from the Landlord to the Company and will be expanded as outlined herein.

Qualifying Improvements means those portions of the Project eligible for reimbursement under Section 505.103 of the Act, as may be amended, consisting of the improvements specifically listed in the attached Exhibit A, which is incorporated into this Agreement.

Reimbursement Incentive means the funds the SL4B pays to the Company under this Agreement, towards those portions of the Project that consist of Qualifying Improvements, excluding permitting fees and sales tax.

SL4B means the Sugar Land 4B Corporation, a non-profit economic development corporation created by the City as authorized by then section 4B of the Act, as amended.

Year means, unless the context clearly indicates otherwise, the twelve-month period extending from Completion of Construction to twelve months thereafter. For example, if Completion of Construction was to occur on January 31, 2027, “Year” would mean the twelve-month period from February 1 to January 31.

2. SL4B Findings. By approval of this Agreement, the board of directors of the SL4B finds:

(a) That the expenditures made by the SL4B are required or suitable for infrastructure necessary to promote or develop new or expanded enterprises, limited to streets and roads, water and sewer utilities, electric utilities or gas utilities, drainage, site improvements, and related improvements (Sec. 501.103(1), Tex. Local Gov't Code); and

(b) That this Agreement complies with the requirements of Section 501.158, Tex. Local Gov't Code, that any direct incentives provided to a business enterprise requires a written performance agreement that includes:

- (1) A schedule of additional payroll or jobs to be created or retained;
- (2) The capital investment to be made; and
- (3) The terms of repayment upon default.

3. Company Obligations.

(a) Construction Commencement. Company must: (1) begin construction of the Project within one (1) year of the Effective Date; and (2) complete construction within one (1) year from the date the notice to proceed is issued by Company to its general contractor for the Project. Failure to commence construction or complete construction on or before those dates may result in the termination of this Agreement, with neither party having any further obligations hereunder. If the SL4B elects to terminate this Agreement for Company's failure to commence or complete construction by the required dates, the SL4B will notify Company of the same in writing. Company agrees to provide the SL4B with a copy of the notice to proceed once it is issued, so that the SL4B can determine the compliance date for Completion of Construction.

(b) Completion of Project and Certificate of Occupancy.

- (1) Within one (1) year from the date the notice to proceed is issued by Company to its general contractor for the Project, the Company must:
 - A. Complete construction of the Project, including the Qualifying Improvements, in compliance with this Agreement and the City's ordinances; and
 - B. Have received a certificate of occupancy for the Project; and
- (2) No later than 60 days following Completion of Construction, the Company must submit to the SL4B a copy of the certificate of occupancy for the Project.

(c) Project.

- (1) By Completion of Construction, the Company will have spent at least \$488,000.00 on materials and services in the design and for the construction of the Project, including at least \$120,000.00 on the Qualifying Improvements.
- (2) No later than 60 days following Completion of Construction, the Company must submit

to the SL4B receipts and invoices showing that the Company has spent at least \$488,000.00 on materials and services in the design and for the construction of the Project, including at least \$120,000.00 on the Qualifying Improvements.

(d) Jobs Creation and Retention; Annual Salary; Reimbursement.

- (1) Required Employees. Beginning on Completion of Construction, and continuing until at least one (1) year following Completion of Construction, the Company will create and maintain at least five (5) Employees at the Project Site. No later than 60 days following Completion of Construction the Company must submit to the SL4B documents acceptable to the SL4B showing that the Company has created or retained at least 5 Employees at the Project Site.
- (2) Reimbursement for Failure to Maintain Required Employees. If the Company fails to maintain the minimum Employees at the Project for the one (1) year following Completion of Construction, as required by Section 3(d)(1) above, the SL4B may not declare an event of default if the Company, within 60 days of the end of that year in which the Company failed to maintain the required number of Employees for that year, makes a reimbursement payment to the SL4B in an amount determined as follows:
 - A. Using the actual number of Employees maintained compared to the number of Employees required in Section 3(d)(1), calculate the percentage decrease below the number of Employees required, using the average number of Employees maintained in the Year.
 - B. Multiply that percentage decrease by one-half (1/2) of the total incentive payment of \$120,000.00 paid to Company under this Agreement, i.e. \$60,000.00.
 - C. Multiply that amount by 2.5% to obtain the amount of the reimbursement payment; and
 - D. Add on interest at the City's weighted average yield of its investment portfolio from the date the SL4B made the payment to the Company to the date of the Company's repayment.
- (3) No Offset for Company Exceeding Required Employees. If, for a Year or partial Year, the actual number of Employees exceeds the number required by Section 3(d)(1), the number of Employees that exceed the number of required Employees may not be credited against or used to offset any prior or future reimbursement based on number of Employees for another Year or Partial Year.

(e) Initial Reports and Reimbursement Package. Within sixty (60) days of Completion of Construction, Company must submit the following to the SL4B in order to be eligible for the Reimbursement Incentive:

- (1) The information required under Sections 3(b)(2), 3(c)(2), and 3(d)(1) above;

(2) A reimbursement package that includes:

- A. Copies of all permits required to be obtained for the construction or installation of the Project;
- B. Copies of receipts and sufficient supporting documentation showing that all contractors and/or materials have been paid in full for their work on the Project. Documentation may include receipts, invoices, cancelled checks and/or bank statements;
- C. Copies of receipts and sufficient supporting documentation showing the amount paid for Qualifying Improvements. Documentation may include receipts, invoices, cancelled checks and/or bank statements;
- D. A letter from the Company president or other chief executive warranting that the Project has been completed according to the requirements of this Agreement;
- E. Written approval from the Sugar Land Town Square Property Owners Association for the Project; and
- F. Detailed color photographs of all completed improvements.

(f) Ongoing Reports; Inspections.

- (1) Apart from the initial reporting requirements in Sections 3(b)(2), 3(c)(2), and 3(d)(1) above, the Years of this Agreement for reporting and inspection requirements are as follows:
 - A. Completion of Construction to twelve months thereafter.
- (2) Within 60 days following each Year of this Agreement, the Company will certify to the SL4B that it has complied with the terms of this Agreement and provide sufficient written information, records, and documents, to support its certification of compliance.
- (3) Upon the SL4B's written request, the Company will promptly provide to the SL4B any additional information reasonably necessary for the SL4B to determine if the Company has complied with this Agreement.
- (4) The Company will allow the City access to the Project Site during regular business hours to verify that the Company is complying with this Agreement. The City will be reasonable in exercising this access right.
- (5) Any documentation required to be submitted to the SL4B under this Agreement shall be submitted to the SL4B as part of one complete package and not on a piecemeal basis. The SL4B has no obligation to begin its review until and unless all documentation has

been received.

(g) Taxable Purchases of Materials. The Company must use good faith efforts to encourage its contractor(s) to make the purchases of materials in the City so that the materials are subject to the City's sales tax.

(h) Images. Company grants the SL4B and/or the City of Sugar Land an unrestricted right to use, for any lawful purpose, any photographs or video footage taken of the Project and/or Project Site, owned by Company and to which Company has the authority to grant such permission, and to use the Company's name in connection therewith if the SL4B and/or City choose.

(i) Compliance with Laws. The Project must conform to all applicable building codes, zoning ordinances, and all other state, federal, or local laws, ordinances, and regulations.

(j) Insurance. Company will maintain insurance in amounts and types sufficient to cover the Project and to protect the SL4B from any potential liability related in any manner to their obligations under this Agreement.

4. SL4B Economic Reimbursement Incentive Payment.

(a) Reimbursement Incentive Payment. Subject to other provisions of this Agreement, the SL4B agrees to pay one Reimbursement Incentive payment of \$120,000.00 to the Company. Staff will review the information submitted by Company under Sections 3(e)(1)-(2) above for completeness within thirty (30) days of receipt. If any information is missing, the SL4B will notify Company in writing and provide Company an additional thirty (30) days to provide any missing or incomplete information. If the required documentation is not complete at the end of that additional thirty (30) days, this Agreement will automatically terminate and the SL4B will have no obligation to pay the Reimbursement Incentive.

(b) If the final costs of the Qualifying Improvements are less than the original amount approved, the SL4B will have the right to reduce the Reimbursement Incentive accordingly.

(c) Survival. The repayment of all or a part of the Reimbursement Incentive provided for in this Agreement survives termination or expiration of this Agreement. The Company's obligations that must be performed after expiration of the Agreement survive expiration of this Agreement.

(d) The SL4B is funding this Agreement exclusively from economic development sales taxes it receives under the provisions of the Act. Should any legal impediment arise during the term of this Agreement, including a change in law, that prevents or prohibits the SL4B from making future incentive payments under this Agreement, either party may terminate this Agreement without further liability to the other.

5. Effective Date. This Agreement is effective on the latest date of the two dates signed by the parties below.

6. Term and Termination.

(a) Unless terminated earlier as allowed in this Agreement, this Agreement begins on the Effective Date and terminates one (1) year from Completion of Construction. Obligations that will run past the expiration date survive such expiration or termination.

(b) This paragraph is required by Chapter 2264, Tex. Gov. Code and governs over any conflicting provisions of this Agreement. The Company will not knowingly employ undocumented workers as that term is defined in Section 2264.001, Tex. Gov. Code. If the Company is convicted of a violation under 8 U.S.C. Section 1324a (f), the conviction is a breach of this Agreement and the city manager will send the Company written notice that the Company has violated this paragraph and that the Agreement terminates 30 days from the date of the notice.

(c) Either party may terminate this Agreement during its term as provided in this paragraph if the other party fails to comply with its terms. The party alleging the default will give the other party notice of the default in writing. If the party in default fails to cure the default within 60 days of the date of the notice, the party giving the notice may terminate this Agreement by written notice to the other party, specifying the date of termination.

(d) No party may be deemed to be in default of this Agreement if performance of this Agreement is delayed, disrupted, or becomes impossible because of any act of God, war, earthquake, fire, strike, accident, civil commotion, epidemic, act of government, its agencies or offices, or any other cause beyond the control of the parties during the time, but only for so long as the event of force majeure reasonable prevents performance.

(e) Company Reimbursement Payments for Breach of Agreement. If the SL4B terminates this Agreement because of the Company's breach of any provision as permitted by this Agreement, the Company must, within 60 days following termination, reimburse the SL4B for all payments the SL4B had made to the Company under this Agreement. The reimbursement payment includes interest on each SL4B payment at the City's weighted average yield of its investment portfolio from the date the SL4B made the payment to the Company to the date of the Company's repayment. The Company's obligation to reimburse the SL4B payments made to Company if the Company breaches this Agreement survives termination of this Agreement.

7. Indemnification. IT IS UNDERSTOOD AND AGREED BETWEEN THE PARTIES THAT THE COMPANY, IN PERFORMING ITS OBLIGATIONS HEREUNDER, IS ACTING INDEPENDENTLY, AND THE SL4B AND LANDLORD ASSUME NO RESPONSIBILITY OR LIABILITY TO THIRD PARTIES IN CONNECTION THEREWITH, AND COMPANY AGREES TO INDEMNIFY AND HOLD HARMLESS THE SL4B AND LANDLORD FROM ANY SUCH RESPONSIBILITY OR LIABILITY. IT IS FURTHER UNDERSTOOD AND AGREED AMONG THE PARTIES THAT THE SL4B, IN PERFORMING ITS OBLIGATIONS HEREUNDER, IS ACTING INDEPENDENTLY, AND COMPANY AND LANDLORD ASSUME NO RESPONSIBILITY OR LIABILITY TO THIRD PARTIES IN CONNECTION WITH THEREWITH.

8. Force Majeure. It is expressly understood and agreed by the parties to this Agreement that if

the performance of any obligations hereunder is delayed by reason of war, civil commotion, acts of God, inclement weather, fire or other casualty, court injunction, necessary condemnation proceedings, acts of the other party, its affiliates/related entities and/or their contractors, or any actions or inactions of third parties or other circumstances which are reasonably beyond the control of the party obligated or permitted under the terms of this Agreement to do or perform the same, regardless of whether any such circumstance is similar to any of those enumerated or not, the party so obligated or permitted shall be excused from doing or performing the same during such period of delay, so that the time period applicable to such design or construction requirement shall be extended for a period of time equal to the period such party was delayed.

9. Miscellaneous Provisions.

(a) Remedies Cumulative. The rights and remedies provided in this Agreement or under other laws are cumulative and the exercise of any particular right or remedy does not preclude the exercise of any other right or remedy.

(b) Law Governing and Venue. The laws of the State of Texas govern this Agreement and no lawsuit may be prosecuted on this Agreement except in a court of competent jurisdiction located in Fort Bend County, Texas.

(c) Notices. Any notice required to be given by one party to the other parties must be given in writing addressed to the parties to be notified at the addresses set forth below: (1) by delivering the notice in person, (2) by depositing the notice in the U. S. Mail, certified or registered, return receipt requested, postage prepaid, (3) by depositing the notice with Federal Express or another nationally recognized courier service for next day delivery; or (4) by sending the notice by email with confirming copy sent by mail. Notice deposited in the U.S. Mail is deemed effective three business days following the date of deposit. Notice given in any other manner is effective when received by the party to be notified. For the purposes of notice, the addresses of the parties to whom notice is to be given, until changed by given notice to the other as provided herein, is as follows:

SL4B: General Manager
Sugar Land Development Corporation
c/o Director of Economic Development
City of Sugar Land
P. O. Box 110
Sugar Land, Texas 77487-0110
Email: ecodev@sugarlandtx.gov

With a copy to: City Manager
City of Sugar Land
P. O. Box 110
Sugar Land, Texas 77487-0110
Email: citymgr@sugarlandtx.gov

Company: VINO & Vinyl, LLC

Attn: Craig Adams
15977 City Walk
Sugar Land, TX 77479
Email: craig@vino-vinyl.com

Landlord: LCFRE Sugar Land Town Square, LLC
Attn: Jason Dean
1111 West 6th Street
Building A, Suite 200
Austin, TX 78703
Email: jdean@pennybackercap.com

(a) Assignment. Except as provided herein, the Company may not assign this Agreement to any other person or entity unless the SL4B consents in writing to the assignment.

(b) City Authority. The City's city manager or any employee authorized by the city manager is authorized to act on behalf of the SL4B in the administration or enforcement of this Agreement.

(c) Severability. The provisions of this Agreement are severable and the invalidity of any part of this Agreement shall not affect the validity of the remainder of this Agreement.

(d) Captions. The titles, captions and headings contained in this Agreement are inserted in this Agreement only as a matter of convenience and for reference and in no way define, limit, extend or describe the scope of this Agreement or the intent of any provision of this Agreement.

(e) Retention of Records. For the term of this Agreement, the Company must retain all records, documents, and information made available to the SL4B for review under this Agreement for a period of seven (7) years from the date of the creation of the record, document, or information.

(f) Landlord. The parties agree and acknowledge that Landlord is made a party to this Agreement solely for the purpose of evidencing that it has granted Company permission to complete the Project at the Project Site. Landlord has no obligations hereunder.

(g) Exhibits. The following exhibits are attached to and incorporated into this Agreement:

Exhibit A – List of Qualifying Improvements

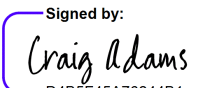
[Signature page follows]

SUGAR LAND 4B CORPORATION

VINO & VINYL, LLC

Kirt Kurchof, President

Date: _____

Signed by:

By: _____
Name: Craig Adams
Title: Managing Partner/Owner
Date: 6/5/2026

ATTEST:

LCFRE SUGAR LAND TOWN SQUARE, LLC

Linda Mendenhall, City Clerk

XAKIA MATTER NO. 8940M
APPROVED AS TO FORM:

By: 
Name: Jason Dean
Title: Authorized Representative
Date: 08/06/2026

EXHIBIT A

Qualifying Improvements

(See Attached)

Project Address

15977 City Walk
Sugar Land, TX 77479

Project Codes

Project Status

Project Status

ARCHITANGENT

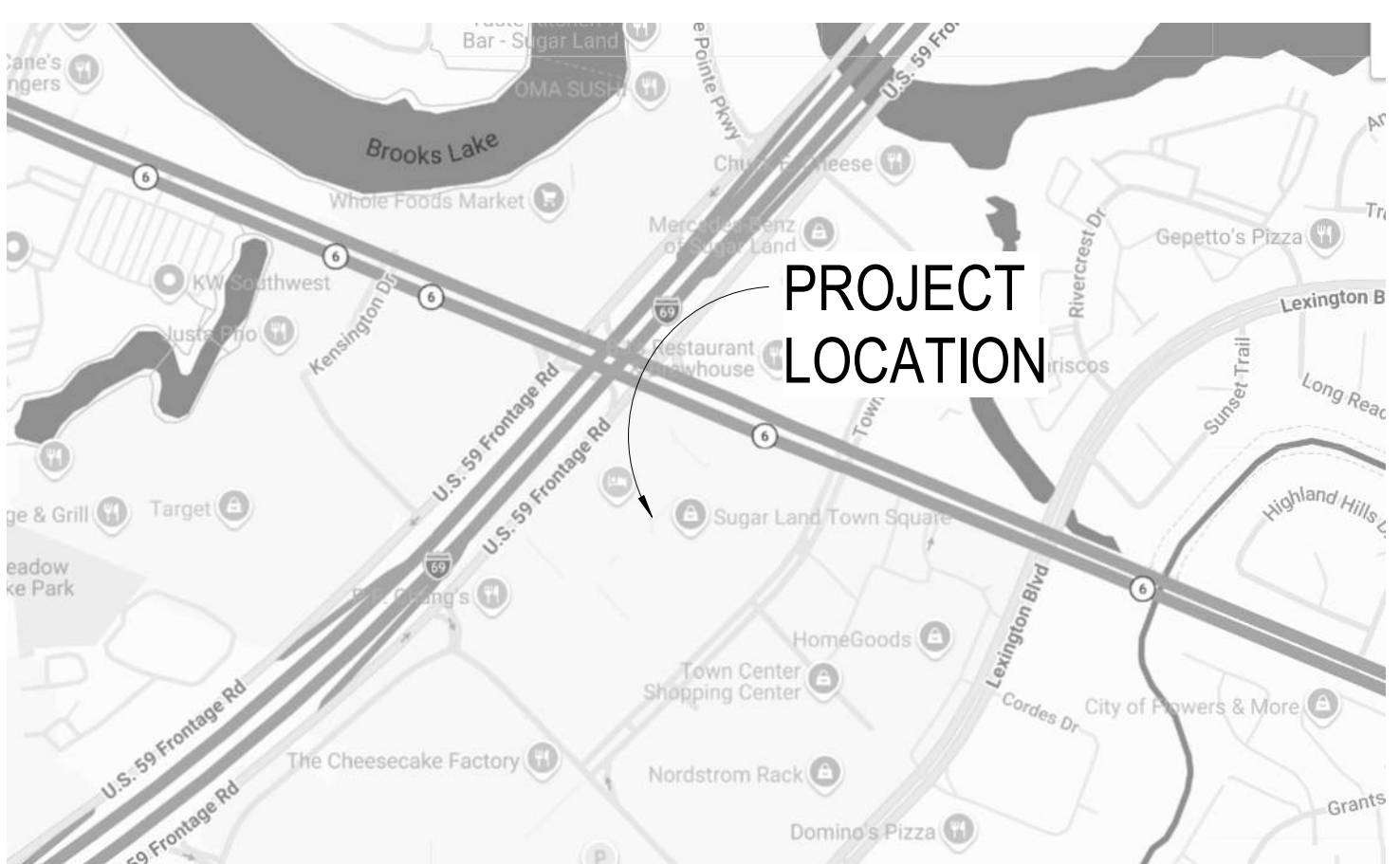
5311 Rose Street | Houston, TX 77007

Consultants

Project Map



PROJECT LOCATION



PROJECT LOCATION



SHEET LIST

Sheet Number	Sheet Name	Current Revision	Current Revision Date	Current Revision Description
00_GENERAL				
G0.11	CODE COMPLIANCE			
G0.21	GRAPHIC STANDARDS			
G0.22	GRAPHIC STANDARDS			
G0.23	TAS STANDARDS			
G0.24	TAS STANDARDS			
G0.25	TAS STANDARDS			
G0.26	TAS STANDARDS	1	Date 1	Revision 1
G0.00	COVER			
G0.12	LIFE SAFETY PLAN			
07_ARCHITECTURAL				
A1.00A	UL DESCRIPTIONS			
A2.11	EXTERIOR DETAILS			
A2.51	OVERALL INTERIOR ELEVATIONS			
A3.01	OVERALL BUILDING SECTIONS			
A4.21	VERTICAL CIRCULATION			
A5.01	DETAILS			
A6.01	MILLWORK DETAILS			
A6.11	DOOR SCHEDULE AND FRAME DETAILS			
A6.21	WINDOW & GLASS SCHEDULE AND FRAME DETAILS			
A10.01	AV PLANS			
A0.01	SITE			
A1.00	PROJECT SCHEDULES & INFORMATION			
A1.01	OVERALL DEMOLITION PLAN			
A1.11	OVERALL FLOOR PLAN			
A1.12	OVERALL RCP			
A1.14	OVERALL FINISH			
A1.15	OVERALL LAYOUT PLAN			
A1.13	OVERALL POWER & EQUIPMENT			
A2.01	OVERALL EXTERIOR ELEVATIONS			
A2.10	EXTERIOR WALL SECTIONS			
A2.61	ENLARGED INTERIOR ELEVATIONS			
A2.62	ENLARGED INTERIOR ELEVATIONS			
A2.63	ENLARGED INTERIOR ELEVATIONS			
A4.01	ENLARGED PLANS			
A4.02	ENLARGED PLANS			
A4.03	ENLARGED PLANS			
A4.11	ENLARGED RESTROOMS AND ELEVATIONS			

GENERAL CONTRACTOR

TBD

OWNER REP

281.265.1636

TENANT

VINO & VINYL
KPKLIGHTINGDESIGN.COM
KRISTIN@KPKLIGHTINGDESIGN.COM
281.819.6739

CONSULTING

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512.589.5905

ARCHITECTURE/INTERIORS

ARCHITANGENT LLC
BRINN@ARCHITANGENT.COM
281.222.4495

MEP ENGINEERS

GK ENGINEERS
WJKLUESNER@GK-MEP.COM
713.208.0964

KITCHEN DESIGN

C&T DESIGN
NCAIN@C-TDESIGN.COM
216.337.2292

PROJECT DESCRIPTION

COMMERCIAL REMODEL CONVERSION OF MERCANTILE TO ASSEMBLY- 2 FOR THE EXPANSION AND RENOVATION OF ADJACENT RESTAURANT TENANT. WITH OUTDOOR PATIO RENOVATION, AND COVERED PATIO STRUCTURE

Seal

PRELIMINARY DRAWING, PREPARED UNDER THE SUPERVISION OF BRINN MIRACLE, TBAE #23867 NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION.

Issue Log

#	Date	Description
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Sheet

COVER

GO.00

Scale 12" = 1'-0"



5311 Rose St. | Houston, TX 77007

Consultants

Seal

PRELIMINARY DRAWING,
PREPARED UNDER THE
SUPERVISION OF BRINN
MIRACLE, TBAE #23867
NOT FOR REGULATORY
APPROVAL, PERMITTING, OR
CONSTRUCTION.

Issue Log

#	Date	Description
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Project Info

VINO & VINYL
15977 City Walk
Sugar Land, TX 77479

Sheet

LIFE SAFETY
PLAN

GO.12

Scale As indicated

PROJECT DATA			
PROJECT NAME:	Vino & Vinyl		
PROJECT ADDRESS:	15977 City Walk Sugar Land, TX 77479		
OWNER:	Vino & Vinyl LLC		
PROJECT DESCRIPTION:	COMMERCIAL REMODEL - CONVERSION OF MERCANTILE (2,139 SF) TO ASSEMBLY- 2 AT 15989 CITY WALK FOR THE EXPANSION AND RENOVATION OF ADJACENT RESTAURANT TENANT (2,045 SF) FOR A FINAL COMBINED AREA OF (4,184 SF). WITH OUTDOOR PATIO RENOVATION, AND COVERED PATIO STRUCTURE		
TDLR:	TABS#		
APPLICABLE CODES			
BUILDING CODE:	2024 INTERNATIONAL BUILDING CODE		
ACCESSIBILITY CODE:	2012 TEXAS ACCESSIBILITY STANDARDS		
ELECTRICAL CODE:	2023 NATIONAL ELECTRICAL CODE		
ENERGY CODE:	2024 IECC		
FIRE CODE:	2024 INTERNATIONAL FIRE CODE		
MECHANICAL CODE:	2024 INTERNATIONAL MECHANICAL CODE		
PLUMBING CODE:	2024 INTERNATIONAL PLUMBING CODE		
REGIONAL CODE:	CITY OF SUGARLAND CODE OF ORDINANCES		
LIFE SAFETY INFORMATION (PRELIMINARY)			
BUILDING OCCUPANCY:	MIXED USE		
PROJECT OCCUPANCY:	A-2 - Restaurant & Bar		
BUILDING CONSTRUCTION:	II-B SPRINKLERED		
OCCUPANT LOAD:	RE: SCHEDULE	TOTAL: 25	
FIRE-RESISTANCE RATING			
PRIMARY STRUCTURAL FRAME: 0 HR			
BEARING WALLS: INT/EXT : 0 HR			
NONBEARING WALLS: INT/EXT 0 HR			
FLOOR: 0 HR			
ROOF: 0 HR			
REQUIRED OCCUPANCY SEPARATION:	NON-SEPARATED - PER 508.3		
DESIGN LIMITATIONS			
HEIGHT:	Allowed: 75' (3 STORIES)	29'-6" - (2 STORY)	
AREA:	Allowed: 38,000 SF	PROJECT AREA: 4,184 SF COVERED PATIO: 400 SF	
MEANS OF EGRESS			
TRAVEL DISTANCE TO EXIT:	ALLOWED 250'	PROVIDED: 71' -1"	
TOTAL OCCUPANT LOAD:		PROVIDED: 104	
COMMON PATH OF TRAVEL:	ALLOWED 75'	PROVIDED: 15'	
EGRESS WIDTH	REQUIRED	PROVIDED	
STAIRS:	44" Min	NA	
DOORS:	32" Min	34"	
EXITS:	1	2	
PLUMBING FIXTURES			
180 Occupants For Plumbing			
FIXTURES	FEMALE 1: 75	MALE 1: 75	SINGLE USER
WATER CLOSETS	REQ: 2 PROV: 0	REQ: 2 PROV: 0	REQ: 4 PROV: 4
URINALS			
LAV (1/200)	REQ: 1 PROV: 0	REQ: 1 PROV: 0	REQ: 2 PROV: 4
SERVICE SINKS	REQ: 1 PROV: 1		
DRINKING FOUNTAIN	REQ: 1 PROV: 0	Complementary water will be available to customers	

FIRE EXTINGUISHER REQUIREMENTS

- PROVIDE PORTABLE FIRE EXTINGUISHERS IN ACCORDANCE WITH INTERNATIONAL BUILDING CODE 2024 SECTION 906 AND NFPA 10 (LATEST ADOPTED EDITION).
- PROVIDE ABC TYPE EXTINGUISHERS IN ALL GENERAL AREAS, CLASS K EXTINGUISHERS IN COMMERCIAL KITCHENS, AND EXTINGUISHERS WITH ADEQUATE CLASS B RATING WHERE FLAMMABLE LIQUIDS (INCLUDING ALCOHOL) ARE PRESENT.
- DESIGN EXTINGUISHER COVERAGE BASED ON THE FOLLOWING HAZARD CLASSIFICATIONS:
A. LIGHT HAZARD IN DINING AND PUBLIC AREAS
B. ORDINARY HAZARD GROUP 2 IN KITCHEN AND BACK-OF-HOUSE AREAS
C. CLASS K FOR COMMERCIAL COOKING OPERATIONS
D. AND CLASS B FOR BAR AND ALCOHOL STORAGE AREAS.
- LOCATE EXTINGUISHERS SUCH THAT MAXIMUM TRAVEL DISTANCES ARE NOT EXCEEDED.
A. 75 FT FOR CLASS A HAZARDS
B. 30-50 FT FOR CLASS B HAZARDS AS APPLICABLE
C. 30 FT MAXIMUM TO CLASS K EXTINGUISHERS FROM COOKING EQUIPMENT
- INSTALL EXTINGUISHERS IN VISIBLE AND READILY ACCESSIBLE LOCATIONS ALONG PATHS OF TRAVEL WITH THE TOP OF EXTINGUISHER NOT MORE THAN 5'-0" ABOVE FINISHED FLOOR (FOR UNITS ≤ 40 LBS) AND PROVIDE SIGNAGE WHERE NOT READILY VISIBLE.
- FINAL QUANTITY, SIZE, TYPE, AND LOCATIONS OF EXTINGUISHERS SHALL COMPLY WITH NFPA 10 AND BE COORDINATED WITH THE AUTHORITY HAVING JURISDICTION (AHJ) AND FIRE MARSHAL. PROVIDE KITCHEN EXTINGUISHERS IN ADDITION TO REQUIRED HOOD FIRE SUPPRESSION SYSTEMS.

GENERAL - LIFE SAFETY

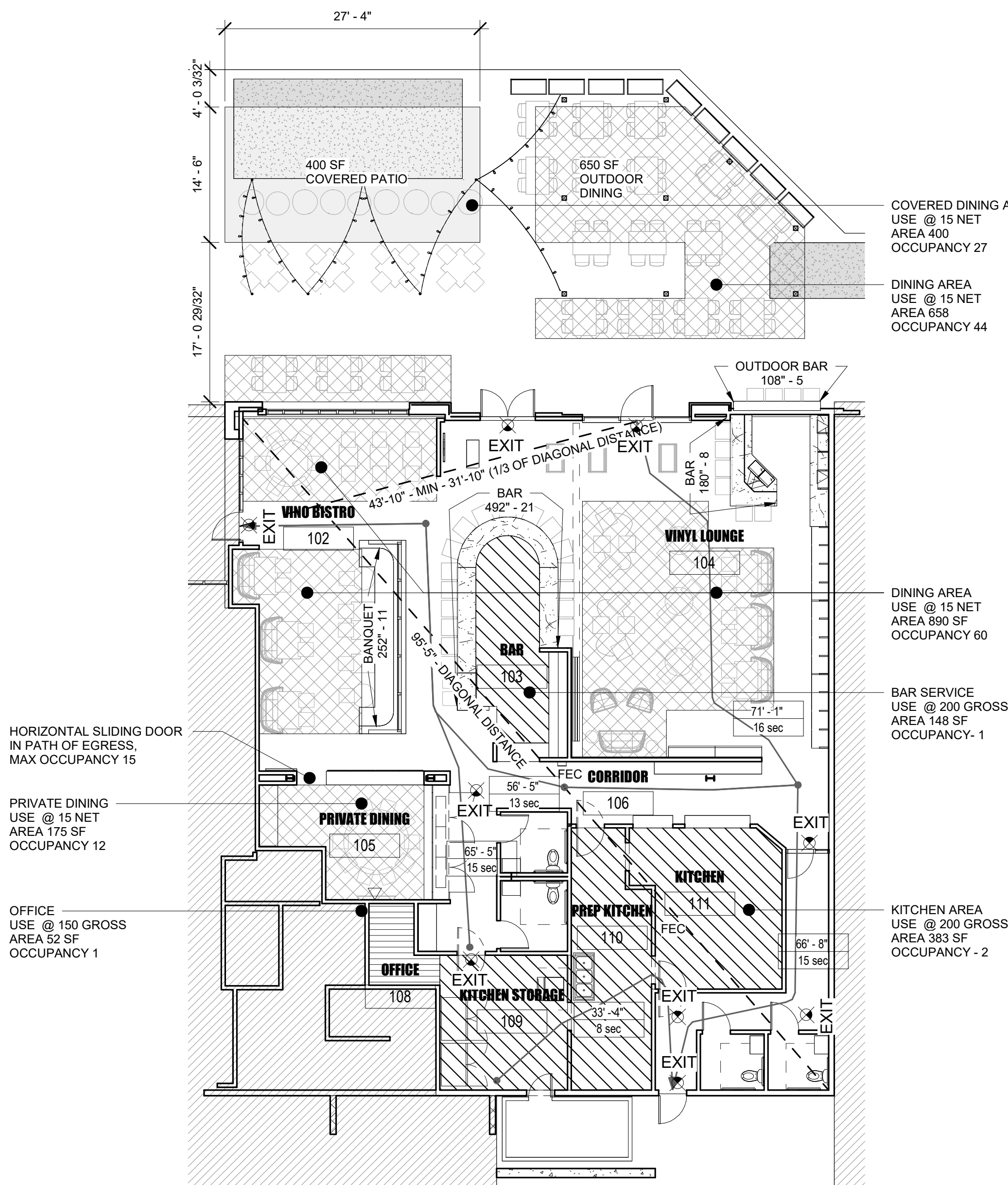
- NO WORK IN SHADED AREAS, U.N.O.
- REFER TO ELECTRICAL DRAWINGS FOR EGRESS LIGHTING.
- ALL RATED PARTITIONS SHALL RECEIVE A 4" HIGH SPRAY PAINTED RED LETTERS DENOTING HOUR RATING. LETTERS TO BE PAINTED 2'-0" ABOVE FINISHED CEILINGS AT 15'-0" O.C. MAX. ON BOTH SIDES OF WALL.
- DASHED LINES DENOTE 75'-0" TRAVEL RADIUS TO FIRE EXTINGUISHER CABINETS. FIRE EXTINGUISHER CABINETS DENOTED AS "FEC" ON PLANS.
- THE FOLLOWING SCOPE SHALL BE SUBMITTED AND PERMITTED SEPARATELY AS REQUIRED BY THE CITY OF SUGAR LAND, AND IF NEEDED FOR THE PROJECT
A. FIRE SPRINKLER
B. FIRE ALARM
C. SECURITY
D. EXTERIOR SIGNAGE

OCCUPANCY LOAD

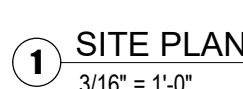
SPACE	AREA	FACTOR	LOAD
DINNING	890 SF (NET)	15 NET	60
DINNING - BAR / BANQ		24"	40
KITCHEN / BAR	531 SF	200 GROSS	3
BUSINESS AREA	52 SF	150 GROSS	1
		TOTAL	104 FOR EGRESS
OUTDOOR DINNING	1058 SF (NET)	15 NET	71
OUTDOOR - BAR		24"	5
		TOTAL	76 OUTDOOR
		GRAND TOTAL	180 FOR PLUMBING

OCCUPANCY LEGEND

	ASSEMBLY - UNCONCENTRATED TABLE AND CHAIRS LOAD FACTOR: 15 NET
	KITCHENS, COMMERCIAL LOAD FACTOR: 200 GROSS
	BUSINESS - OFFICE LOAD LOAD FACTOR: 150 GROSS

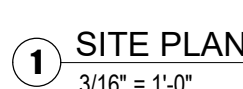


1 Level 1 - Life Safety
1" = 10'-0"



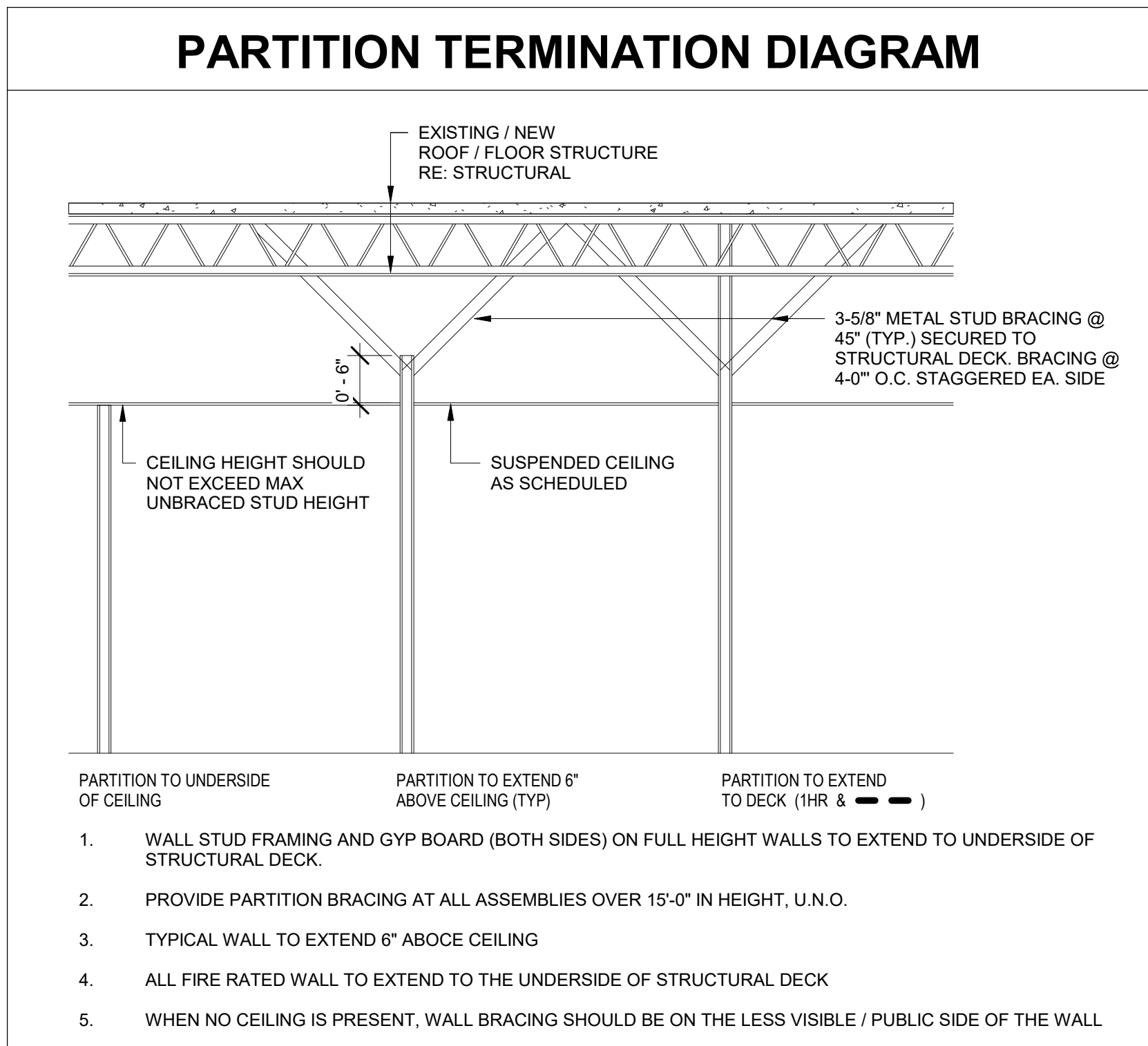
A. MANUFACTURER: MINIMUM 5-10 YEARS EXPERIENCE WITH SIMILAR SYSTEMS.
B. INSTALLER: QUALIFIED WITH SIMILAR PROJECT EXPERIENCE.
C. WARRANTY: PROVIDE MINIMUM 1-YEAR (OR MANUFACTURER STANDARD)
WARRANTY: EXTENDED FINISH WARRANTIES WHERE APPLICABLE.

NO.	NOTE
1	FURNITURE BY OWNER, TYP.
2	EXISTING MAN HOLE COVER, SEAL AND COVER.
3	PROVIDE UNDERGROUND UTILITIES FOR POWER, NATURAL GAS AND SPEAKER AV EXTENSION TO THE NEW CANOPY
4	STRING LIGHTS, TIED INTO CANOPY ELECTRICAL
5	NEW RECESSED HOSE BIB UNDER BAR, EXTENDED FROM EXISTING WATER LINES
6	CONTRACTOR TO CONFIRM EXTENT OF EXISTING PAVING, AND AREAS REQUIRING ADDITIONAL PAVING, PROVIDE EXTENT INDICATED MINIMUM
7	NEW PRE ENGINEERED METAL CANOPY
8	CEILING FAN FROM CANOPY DECK
9	NATURAL GAS OUTDOOR HEATER
10	10' GALVANIZED POLE, RE DEAIL
11	EXISTING TREES AND PLANTING TO REMAIN, PROTECT DURING COURSE OF CONSTRUCTION
12	20 X 46 - CORTEN PLANTER TROUGH WITH TRELLIS, PLANTING BY OWNER
13	EXISTING SIDEWALK TO REMAIN



Project Info

Scale	As indicated
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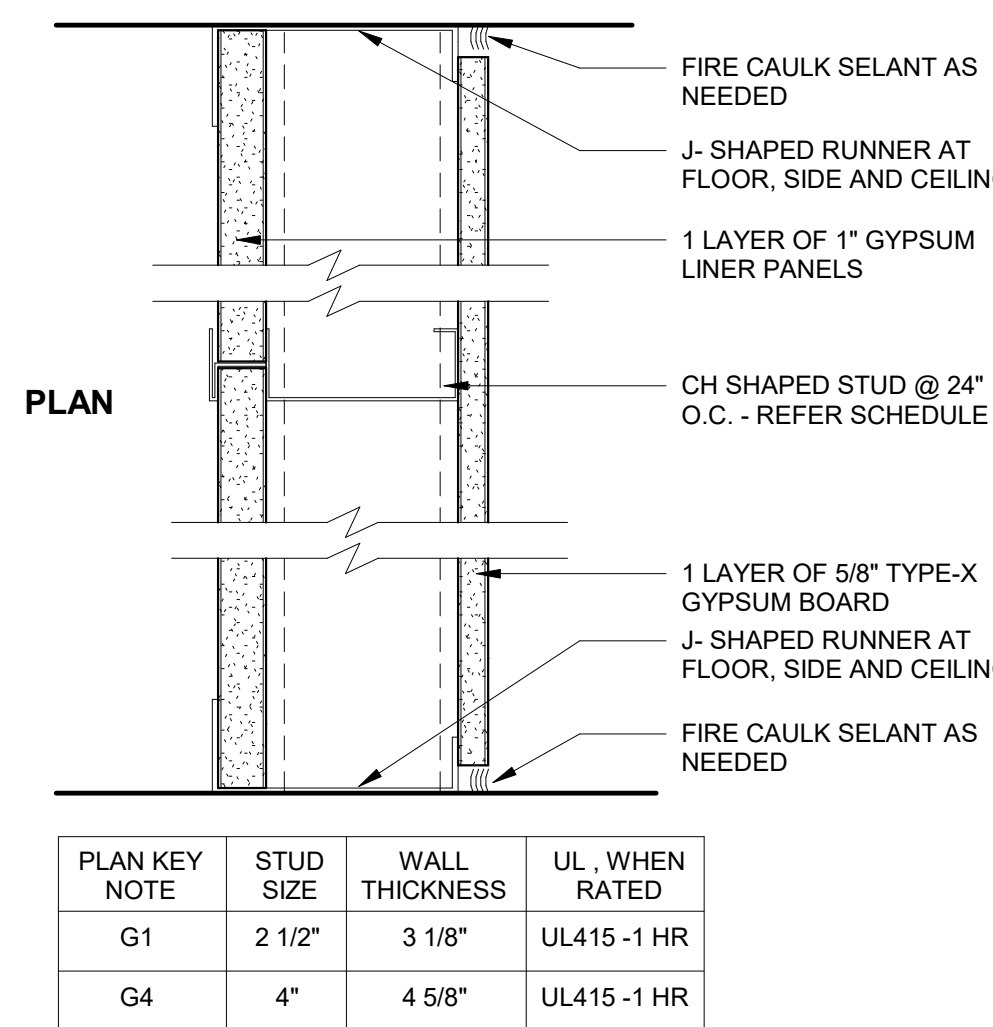


- GENERAL - PARTITION**
1. ALL PARTITION TYPES ARE A3 UNLESS NOTED OTHERWISE.
 2. PARTITION TYPES APPLY TO INTERIOR PARTITIONS ONLY.
 3. REFER TO LIFE SAFETY PLANS TO DETERMINE FIRE RATING REQUIREMENTS.
 4. SLIP TRACK HEAD CONDITIONS ARE REQUIRED AT ALL PARTITIONS TO DECK OR STRUCTURE.
 5. GENERAL CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTING THE COMPLETE ASSEMBLY OF ALL FIRE RATED PARTITIONS IN FULL ACCORDANCE WITH UL LISTING.
 6. ALL INTERIOR STUDS TO BE 25 GAUGE, UNLESS NOTED OTHERWISE.
 7. ALL C-H STUDS TO BE 20 GAUGE, UNLESS NOTED OTHERWISE.
 8. WALLS TO BE BRACED WITH 3-5/8" MTL. STUD BRACING @45° (TYP.) SECURED TO STRUCTURAL DECK. BRACING @4'-0" O.C. STAGGERED EA. SIDE.
 9. REFERENCE STRUCTURAL DRAWINGS AND SPECIFICATIONS FOR ANY ADDITIONAL REQUIREMENTS FOR CONCRETE MASONRY UNIT PARTITIONS.

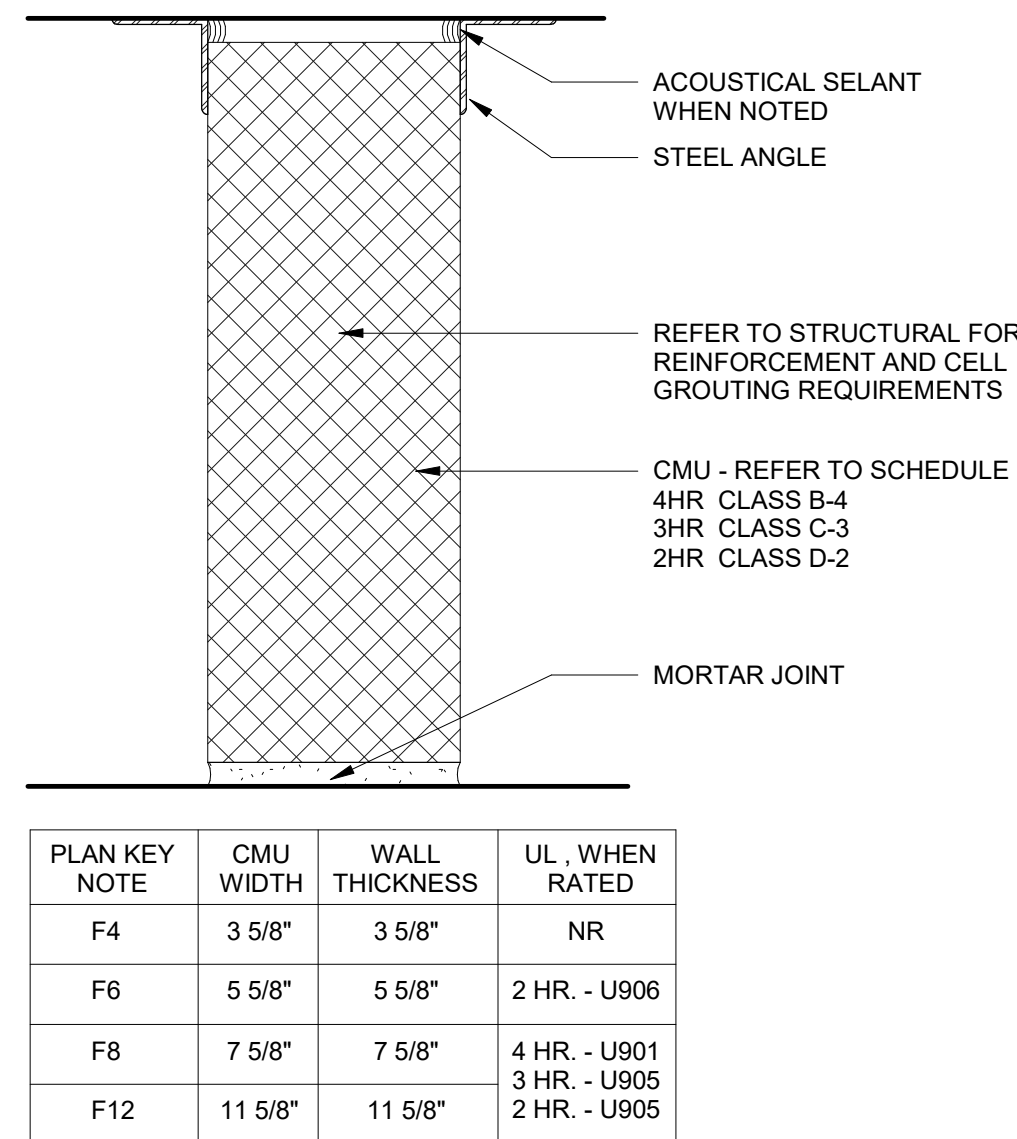
2 1/2" STUDS MAX. HEIGHTS AND GAUGES (16" SPACING, 5 PSF LOAD, L/240 DEFLECTION)	
MAX. ALLOWABLE CLEAR SPAN HEIGHTS	GAUGE AND TYPE
LESS THAN 10'	25 GA. PUNCHED WIDE FLANGE
BETWEEN 10' AND 15'	20 GA. PUNCHED WIDE FLANGE
3 5/8" STUDS MAX. HEIGHTS AND GAUGES (16" SPACING, 5 PSF LOAD, L/240 DEFLECTION)	
MAX. ALLOWABLE CLEAR SPAN HEIGHTS	GAUGE AND TYPE
LESS THAN 10'	25 GA. PUNCHED WIDE FLANGE
BETWEEN 10' AND 15'	20 GA. PUNCHED WIDE FLANGE
BETWEEN 15' AND 17'	18 GA. PUNCHED WIDE FLANGE
BETWEEN 17' AND 19'	16 GA. PUNCHED WIDE FLANGE
6" STUDS MAX. HEIGHTS AND GAUGES (16" SPACING, 5 PSF LOAD, L/240 DEFLECTION)	
MAX. ALLOWABLE CLEAR SPAN HEIGHTS	GAUGE AND TYPE
LESS THAN 23'	20 GA. PUNCHED WIDE FLANGE
BETWEEN 23' AND 26'	18 GA. PUNCHED WIDE FLANGE
BETWEEN 26' AND 28'	16 GA. PUNCHED WIDE FLANGE

DIAGONAL BRACING OF WALLS	
FULL HEIGHT WALLS SHALL BE DIAGONALLY BRACED SPRINGING FROM APPROXIMATE MID-POINT OF WALL - PLUS OR MINUS 3'-4'-0" O.C. MAX.	
WALLS TO JUST ABOVE SUSPENDED CEILING LEVELS SHALL BE BRACED FROM TOPS OF WALLS TO NEAREST CONCRETE COLUMN, RAMP OR FLOOR ABOVE - 4'-0" O.C. MAX.	

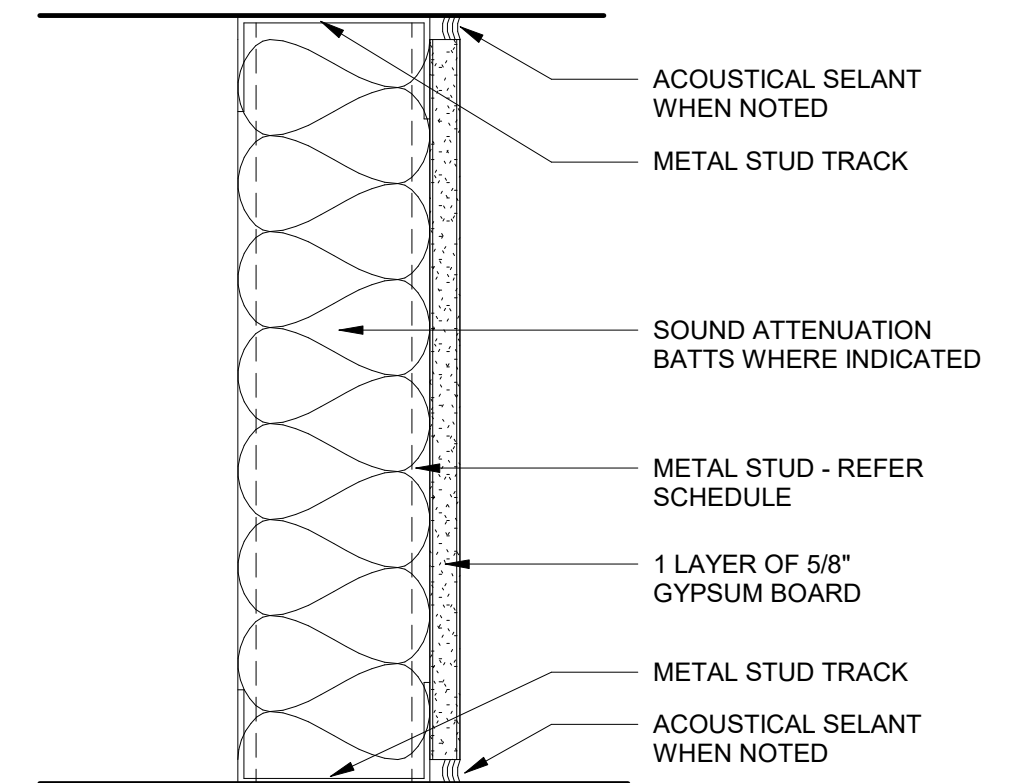
5 STUD GAUGES AND BRACING
1 1/2" = 1'-0"



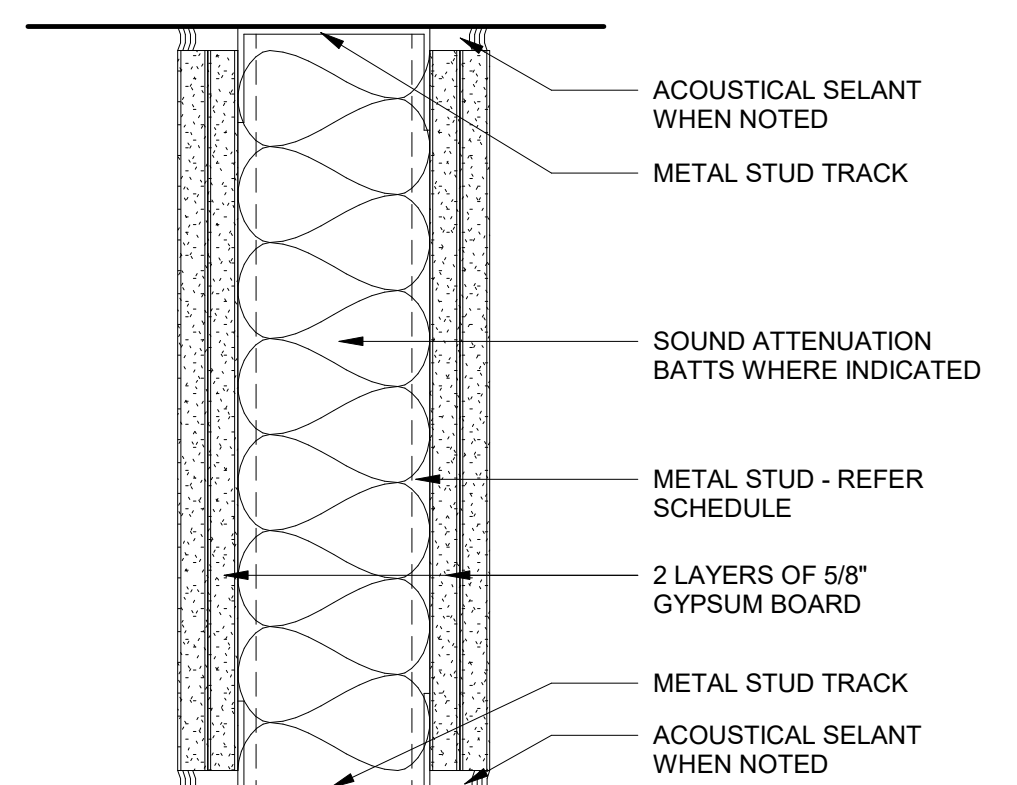
4 G TYPE- PARTITION DETAIL
3" = 1'-0"



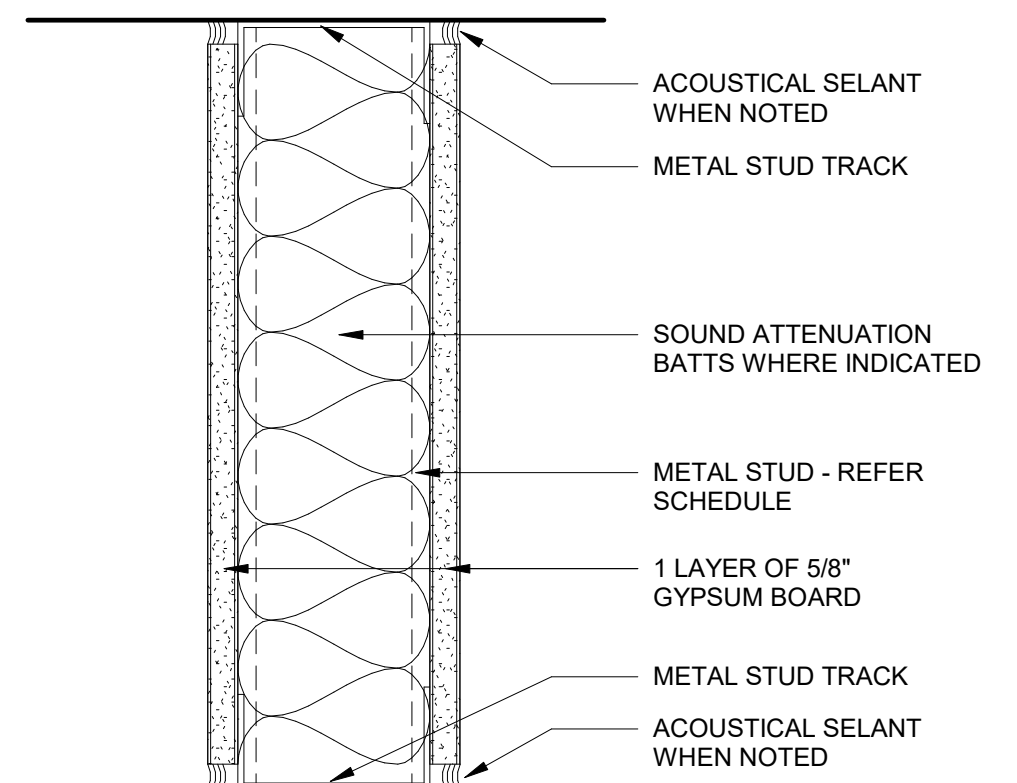
3 F TYPE- PARTITION DETAIL
3" = 1'-0"



2 D TYPE- PARTITION DETAIL
3" = 1'-0"



6 B TYPE- PARTITION DETAIL
3" = 1'-0"



1 A TYPE- PARTITION DETAIL
3" = 1'-0"

ARCHITANGENT

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Seal

PRELIMINARY DRAWING,
PREPARED UNDER THE
SUPERVISION OF BRINN
MIRACLE, TBAE #23867
NOT FOR REGULATORY
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Issue Log

#	Date	Description
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Project Info

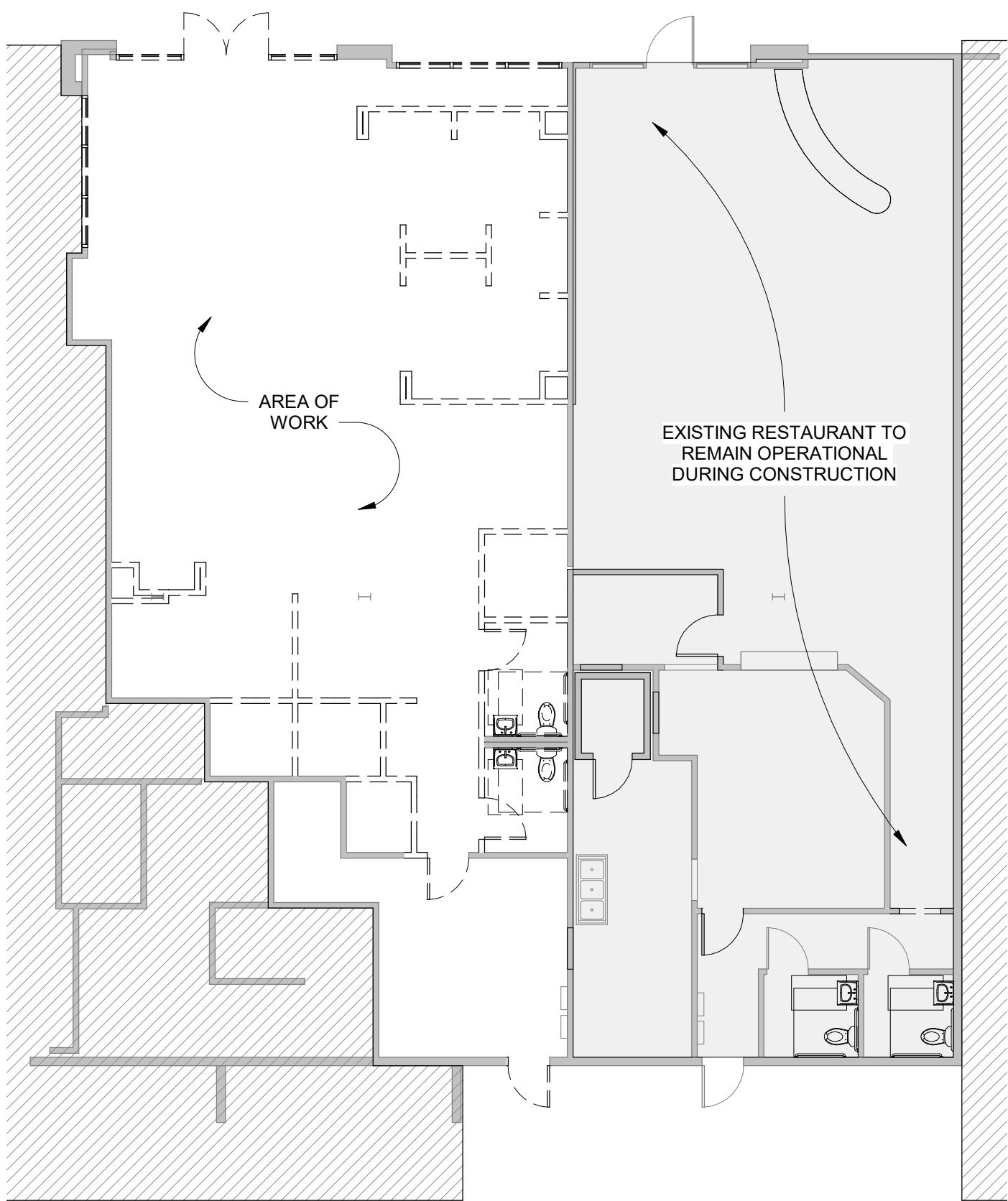
VINO & VINYL
15977 City Walk
Sugar Land, TX 77479

Sheet

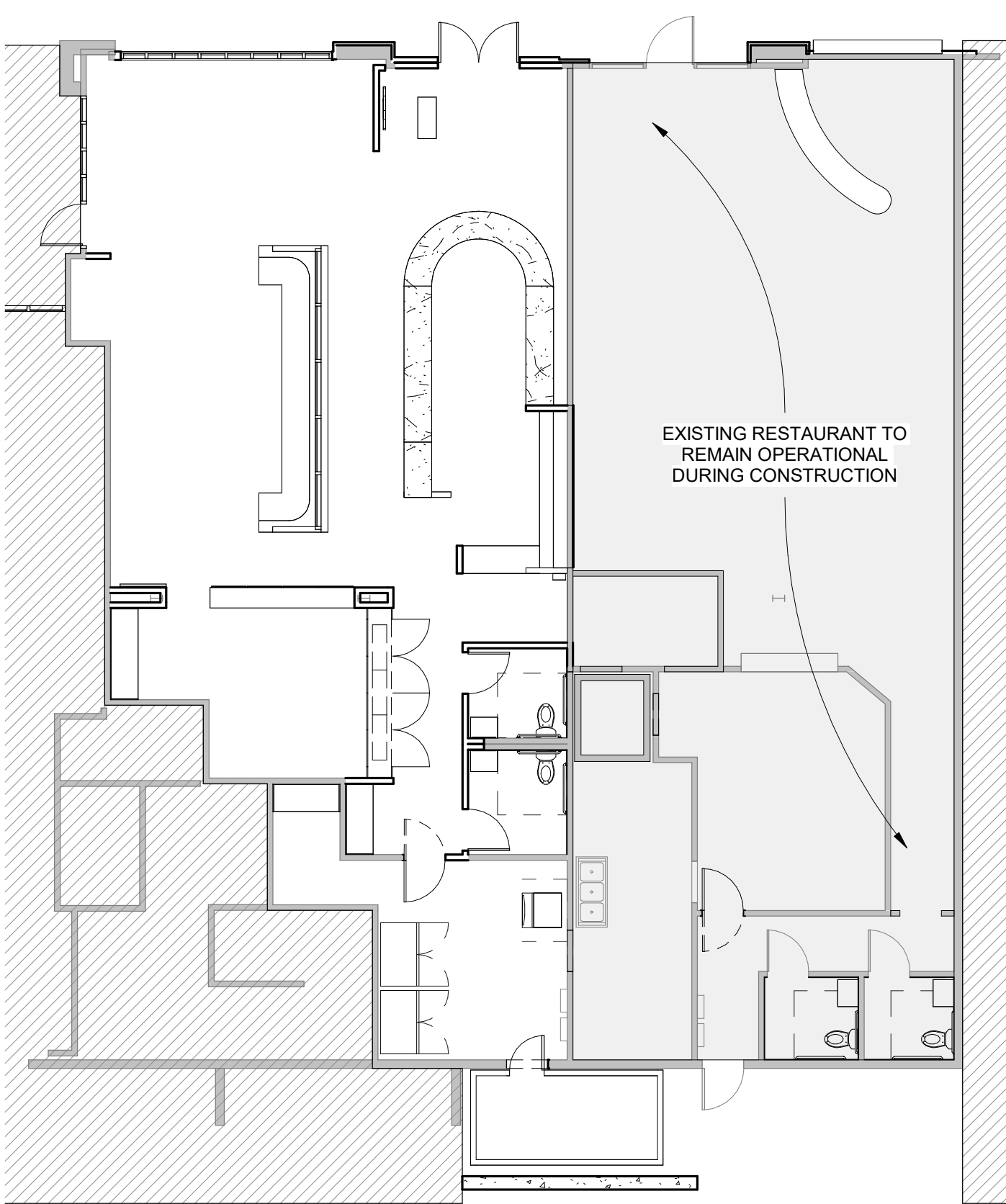
PROJECT SCHEDULES & INFORMATION

A1.00

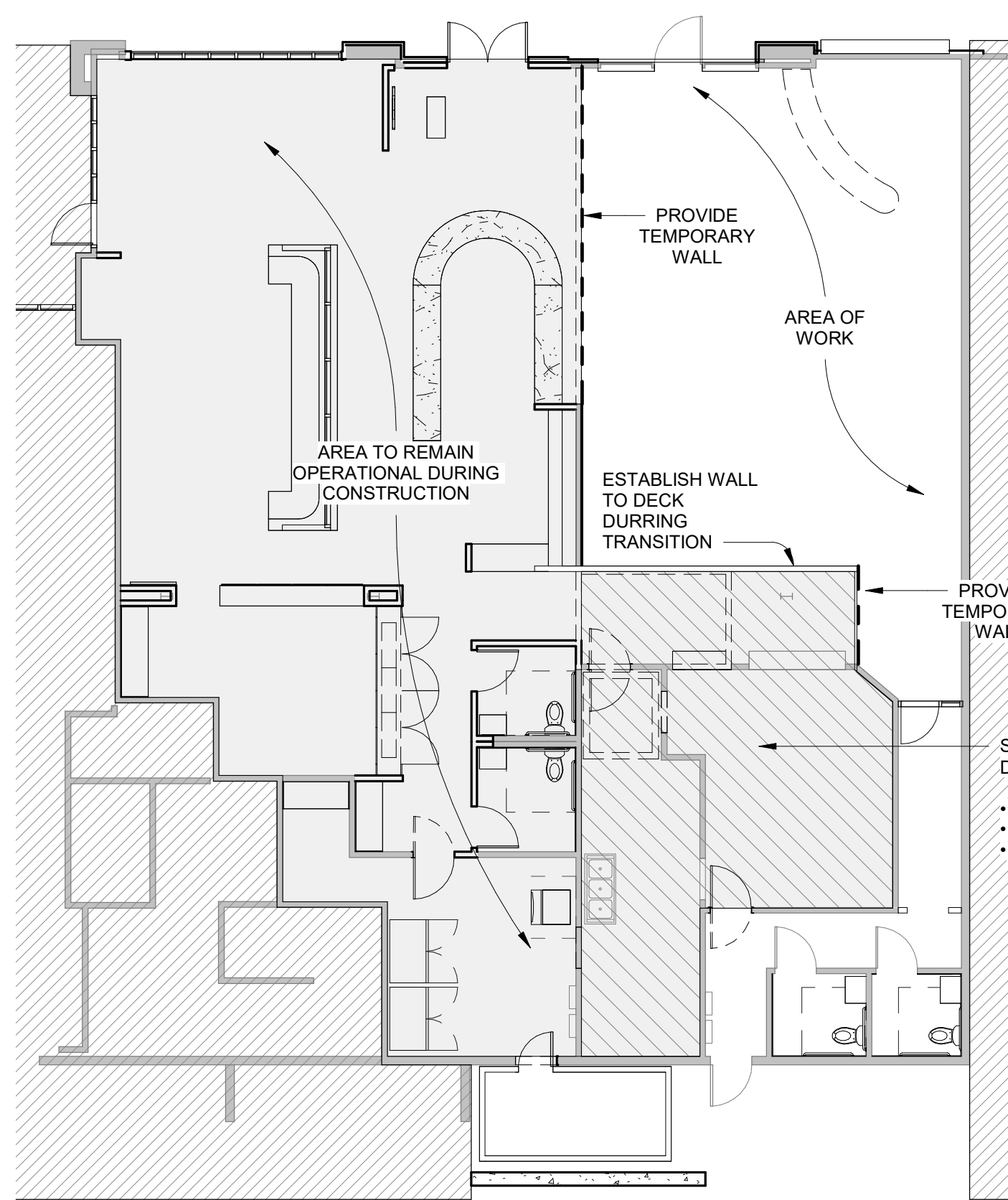
Scale As indicated



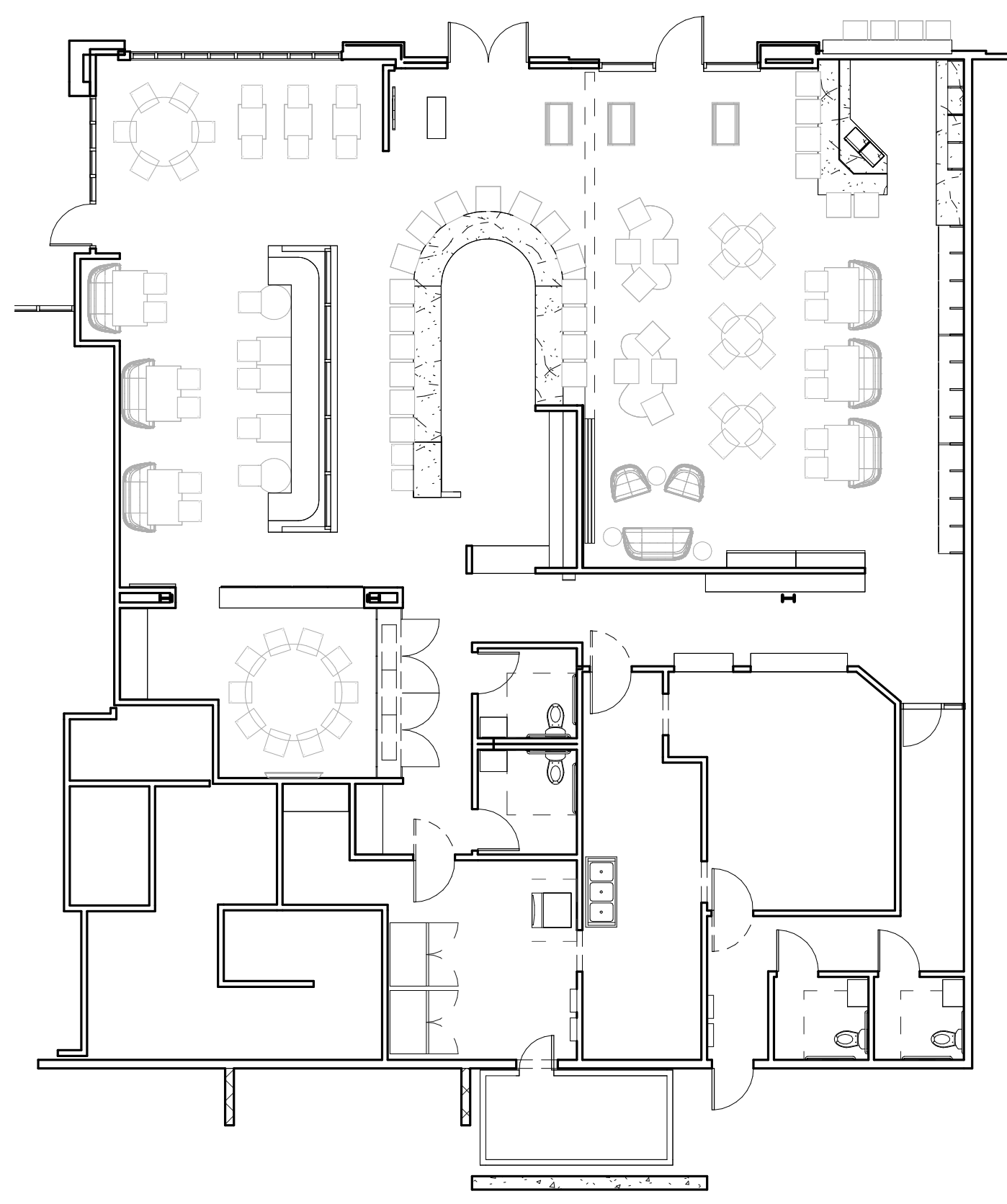
(A) DEMOLITION PHASE 1
1" = 10'-0"



(B) CONSTRUCTION PHASE 1
1" = 10'-0"



(C) DEMOLITION PHASE 2
1" = 10'-0"



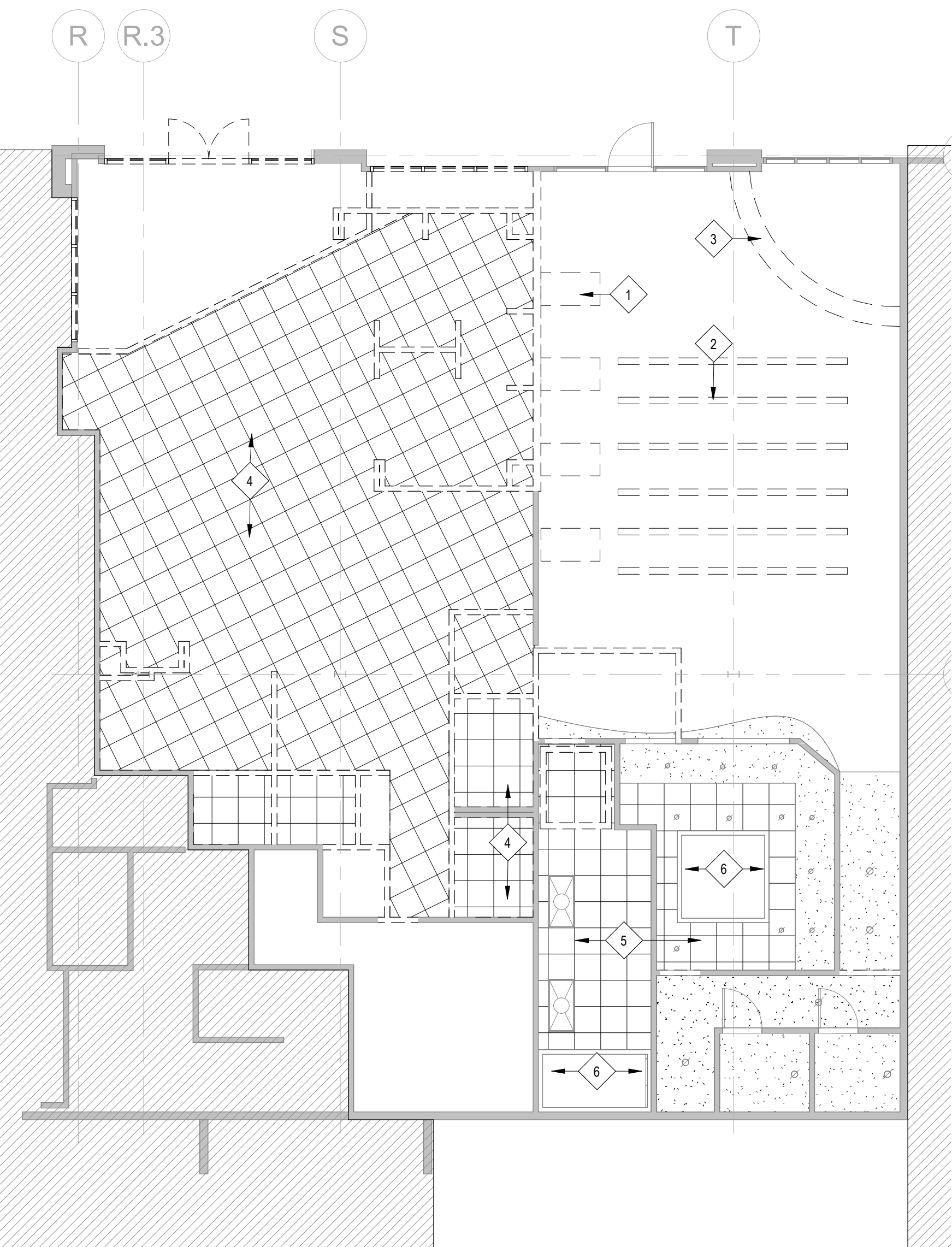
(D) CONSTRUCTION PHASE 2
1" = 10'-0"

GENERAL - DEMO RCP

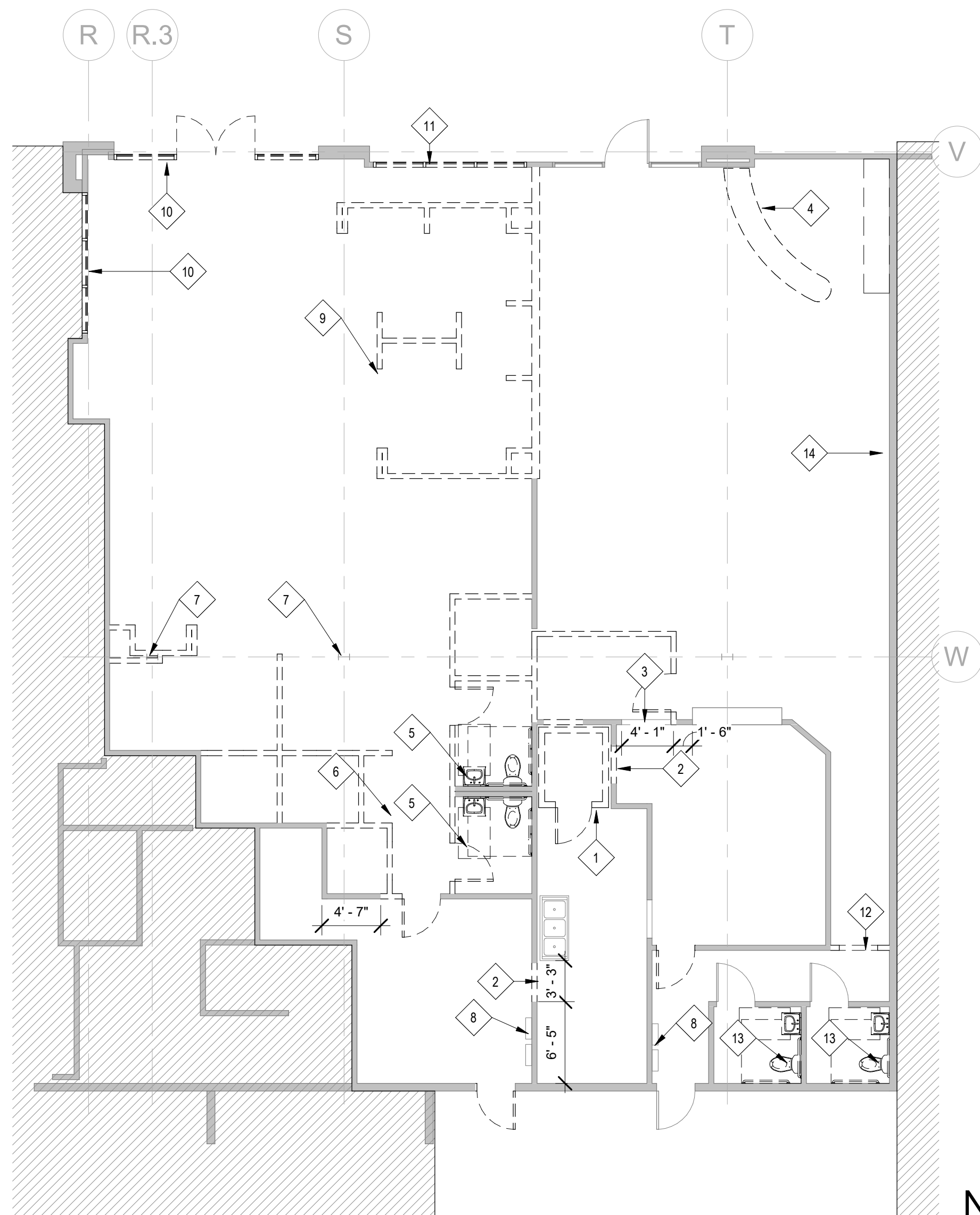
- ALL 2X4 LIGHT FIXTURES TO BE REMOVED AND RETURNED TO OWNER. REFER TO REFLECTED CEILING PLANS FOR NEW LAYOUT OF FIXTURES.
- REMOVE ALL ABANDONED ABOVE-CEILING ELECTRICAL AND COMMUNICATION DEVICES AND WIRING. WIRING SHALL BE REMOVED TO THE GREATEST EXTENT POSSIBLE. ALL UNUSED BRANCH WIRING TO BE DEMOLISHED TO JUNCTION BOX. ALL UNUSED HOME RUNS SHALL BE DEMOLISHED BACK TO THE PANEL. IF FLOOR OUTLETS ARE REMOVED, PROVIDE PATCHING AND FIRE SAFING TO MAINTAIN ANY EXISTING FIRE RATINGS. REMOVE ALL UNUSED SWITCHES, OUTLETS, CONTROLS, MOUNTING DEVICES, ETC. U.N.O. PATCH AND REPAIR SURFACES TO ACCEPT NEW SCHEDULED DEVICES AND FINISHES.
- CONTRACTOR SHALL PROTECT ANY ITEMS THAT ARE TO REMAIN.
- NOTIFY PROPERTY MANAGEMENT PRIOR TO THE DISABLING OF ANY FIRE ALARM DEVICES. FIRE ALARM DEVICES THAT ARE NOT DISABLED BUT ARE TEMPORARILY REMOVED FROM CEILINGS OR WALLS AS A RESULT OF DEMOLITION SHALL BE PROPERLY SUSPENDED ABOVE THE CEILING TO PREVENT DAMAGE.
- LEAVE ALL AREAS BROOM CLEAN DURING DEMOLITION.
- VERIFY EXISTING CONDITIONS MATCH WHAT IS SHOWN ON PLANS. IF DISCREPANCIES OR UNKNOWN CONDITIONS EXIST, NOTIFY ARCHITECT.
- EXISTING HVAC SYSTEM TO REMAIN, U.N.O. RE: MEP
- ALL EXISTING EXTERIOR SCONCES TO BE REMOVED, AND REPLACED WITH NEW. PATCH AND REPAIR WALL TO RECEIVE NEW FINISH.
- NO WORK IN SHADED AREAS U.N.O.
- ALL EXISTING LIGHTING FIXTURES TO BE REMOVED AS INDICATED. PROVIDE TEMPORARY POWER AND LIGHTING THROUGHOUT COURSE OF JOB.

KEYNOTES - DEMOLITION RCP

NO.	NOTE
1	REMOVE EXISTING WALL FEATURE
2	REMOVE BAFFLES
3	REMOVE SOFFIT
4	REMOVE ALL CEILING AND LIGHT FIXTURES. PROTECT EXISTING FIRESPRINKLER FOR MODIFICATION
5	REMOVE EXISTING CEILING TILE, FOR REPLACEMENT, EXISTING FIXTURE AND DEVICES TO REMAIN.
6	EXISTING HOOD TO REMAIN



(2) Level 1 - DEMO RCP
1/8" = 1'-0"



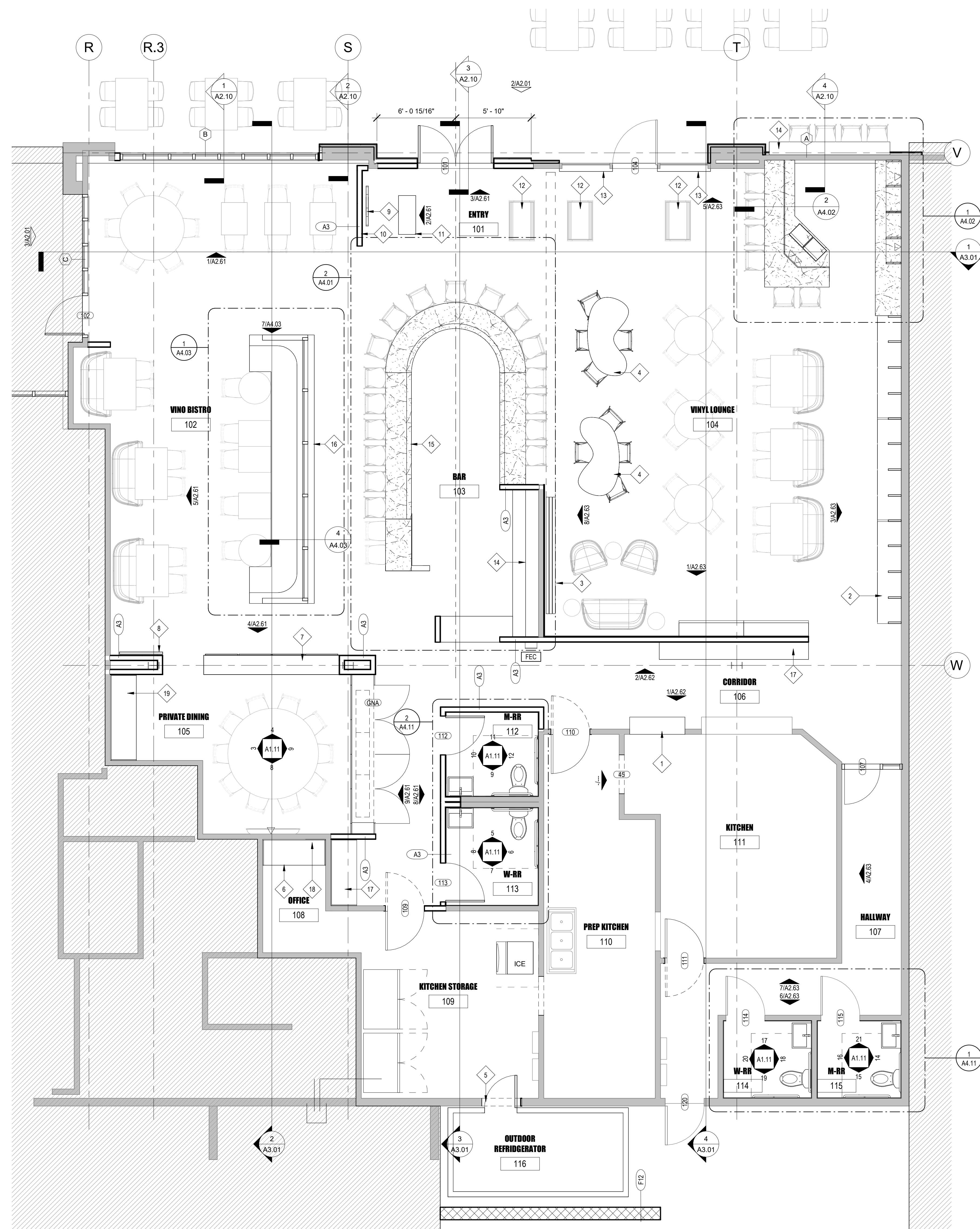
(1) Level 1 - DEMOLITION PLAN
1/8" = 1'-0"

GENERAL - DEMO

- NO WORK IN SHADED AREAS U.N.O., REFER TO SEQUENCE PLANS FOR CONSTRUCTION AND DEMOLITION SEQUENCE
- REMOVE EXISTING ELECTRICAL AND COMMUNICATION OUTLETS AND ANY ABANDONED OUTLETS OR WIRING ON WALLS INDICATED TO BE DEMOLISHED. UNUSED WIRING SHALL BE DEMOLISHED BACK TO JUNCTION BOXES. UNUSED HOME RUNS SHALL BE DEMOLISHED BACK TO PANEL. WHERE FLOOR OUTLETS ARE REMOVED, PROVIDE PATCHING AND FIRE SAFING TO MAINTAIN EXISTING FIRE RATINGS. REMOVE ALL UNUSED SWITCHES, OUTLETS, CONTROLS, SENSORS, ETC. UNLESS SHOWN TO REMAIN. PATCH AND REPAIR WALLS AND OTHER SURFACES TO ACCEPT NEW SCHEDULED FINISHES.
- CONTRACTOR SHALL PROTECT ANY ITEMS TO REMAIN FROM DAMAGE.
- NOTIFY PROPERTY MANAGER PRIOR TO DISABLING OF ANY LIFE SAFETY DEVICES SUCH AS FIRE ALARM DEVICES. DEVICES THAT ARE TEMPORARILY MOVED DUE TO CONSTRUCTION SHALL BE PROTECTED FOR REINSTALLATION.
- CONTRACTOR SHALL LEAVE ALL AREAS BROOM CLEAN DURING DEMOLITION.
- WHERE INDICATED, REMOVE ALL FLOORING, LOOSE LEVELING MATERIAL AND EVALUATE EXISTING SUB FLOOR FOR PREPARATION TO ACCEPT NEW SCHEDULED FINISHES.
- WHERE INDICATED, REMOVE ALL WALL APPLIED FINISHES. CONTRACTOR SHALL PROVIDE PATCH AND REPAIR TO RECEIVE NEW SCHEDULED FINISHES.
- VERIFY EXISTING CONDITIONS AGAINST DRAWINGS. NOTIFY ARCHITECT OF ANY FOUND DISCREPANCIES PRIOR TO EXECUTING WORK.
- COORDINATE DEMOLITION OF DEVICES, DUCTS, SPRINKLERS, ETC. WITH MEP ENGINEER'S DRAWINGS.
- GLAZED PARTITION SYSTEMS WITHIN THE PUBLIC AREAS WHICH DO NOT ENCLOSE A TENANT SUITE AND ARE NOT PART OF A DEMISING WALL BETWEEN TENANT SUITES AND PUBLIC SPACES SHALL BE DEMOLISHED. ALL MULLIONS AND GLASS SHALL BE REMOVED, AND UNDERLYING CONDITIONS PATCHED TO RECEIVE NEW FINISHES. MATCH REPAIRS TO OTHER BUILDINGS.
- ALL GRAB BARS IN RESTROOMS TO BE SALVAGED AND RE-USED. EVALUATE CONDITION OF GRAB BARS AND VERIFY LENGTHS MEET ACCESSIBILITY REQUIREMENTS (MOUNTING HEIGHTS SHEET).
- DEMOLISH ALL EXISTING APPLIED FLOOR AND BASE FINISHES
- DO NOT REMOVE ANY FIRE PROTECTION SIGNALS OR EQUIPMENT. UNLESS NOTED OTHERWISE, PROTECT FOR THE ENTIRE DURATION OF THE WORK
- PROTECT AND SEAL ALL VENTS DURING DEMOLITION AND CONSTRUCTION.

KEYNOTES - DEMOLITION

NO.	NOTE
1	REMOVE EXISTING WALK IN COOLER, AND CONTINUATION TO ROOF TOP EQUIPMENT
2	NEW PASSAGE WAY
3	DEMOLISH TO ESTABLISH A NEW PASS, TO MATCH HEIGHTS OF ADJACENT EXISTING PASS.
4	REMOVE EXISTING BAR, CUT AND CAP ANY EXISTING UTILITIES TO FLOOR AND WALLS, EXISTING WATER LINE TO BE UTILIZED FOR EXTERIOR HOSE BIB
5	DEMOLISH EXISTING BATHROOM WALLS, TOILET FIXTURE LOCATION TO REMAIN IN THE SAME LOCATION, SINK LOCATION TO BE ADJUSTED TO MEET ADA CLEARANCES
6	DEMOLISH EXISTING COUNTERTOP AND SINK, CUT AND CAP UTILITIES
7	PROTECT EXISTING COLUMNS
8	EXISTING ELECTRICAL PANELS TO REMAIN, PULL POWER BACK TO PANEL AS REQUIRED TO MAINTAIN CIRCUITS, RE MEP
9	REMOVE EXISTING DISPLAY AREAS
10	COORDINATE WINDOW REPLACEMENT RE. ELEVATIONS, HEADER TO REMAIN
11	EXISTING STOREFRONT TO BE REMOVED AND REPLACED WITH INFILL WALL WITH NEW ENTRANCE
12	REMOVE EXISTING DOORWAY AND WALL
13	REMOVE EXISTING PLUMBING FIXTURES, SCHEDULED FOR REPLACEMENT
14	REMOVE WALL PANELS ABOVE



KEYNOTES - FLOOR PLAN	
NO.	NOTE
1	NEW PASS. WITH SS CASED OPENING, AND SS SHELF FABRICATION
2	NEW WINE AND VINYL MERCHANIZING AND STORAGE RACKS
3	BYPASS SLIDING PANELS, SUSPENDED FROM ABOVE
4	CUSTOM MILLWORK BAR HEIGHT TABLE
5	COOLER, REFER TO FS DRAWINGS, UTILIZE EXSTING DOOR OPENING FOR REFRIGERATOR DOOR. PROVIDE WEATHER PROOF TRANSITION BETWEEN DOOR AND COOLER
6	NEW WALL MOUNTED DESK AT 34"
7	WINE CUBBIE WALL, FOR PRIVATE STORAGE
8	SLIDING DOOR
9	BACK LIT LOGO SIGN, RE ELEVATIONS
10	WOOD SLAT WALL ABOVE PONEY WALL, RE ELEVATIONS
11	NEW MILLWORK HOST STAND
12	MOBILE MILLWORK, MERCHANDIZING CONTER
13	WOOD BAR RAIL ATTACHED TO WINDOW MULLIONS
14	REPLACE EXISTING COUNTER TOP, WITH CONCRETE COUNTER TOP SPECIFIED
14	SHELVES ABOVE COUNTERTOP, RE: ELEVATIONS
15	DRINK RAIL
16	NEW BANQUET WITH DRINK RAIL
17	NEW WAITER STATION, PROVIDE POWER AND DATA
18	COORDINATE WITH OWNER FOR POWER AND DATA REQUIREMENTS.
19	COUNTER WITH STORAGE BELOW

GENERAL NOTES - FLOOR PLAN	
1	NO WORK IN SHADED AREAS, U.N.O.
2	DIMENSIONS ARE TO FINISHED FACE OF PARTITION (INCLUDING APPLIED MATERIAL).
3	ALL WALLS TO BE TYPE A3.C, U.N.O.
4	ALL NEW PARTITIONS ARE TO BE PERPENDICULAR OR PARALLEL TO DEMISING AND EXTERIOR WALLS, U.N.O.
5	DOORS: HINGE SIDE OF DOORS ARE TO BE LOCATED 4" FROM NEAREST PERPENDICULAR PARTITION TO ALLOW ROOM FOR HARDWARE, U.N.O. PROVIDE SPACE SUCH THAT DOOR HARDWARE WILL NOT COLLIDE WITH WALLS.
6	ALL EXTERIOR CURTAIN WALLS AND TENANT DEMISING WALLS ARE EXISTING TO REMAIN, U.N.O.
7	NEW CONSTRUCTION THAT MEETS EXISTING CONSTRUCTION SHALL BE IN THE SAME PLANE WITHOUT VISIBLE SEAMS OR JOINTS.
8	ALL RESTROOMS TO RECEIVE THE FOLLOWING ACCESSORIES: TA-1.1, TA-2.1, TA-2.2, TA-5.1, TA-7.1
9	PROVIDE BRACING BACK TO STRUCTURE FOR PARTITIONS WHERE REQUIRED.
10	PROVIDE BLOCKING IN WALLS BEHIND ALL WALL-MOUNTED OR WALL-SUPPORTED ELEMENTS SUCH AS MILLWORK, STONE PANELS, WOOD PANELING, ETC. REFER TO ELEVATIONS AND FINISH PLANS.
11	ALL NEW PLUMBING FIXTURES TO BE MOUNTED IN COMPLIANCE WITH ADA AND TAS STANDARDS. REFER TO MOUNTING HEIGHTS STANDARD SHEET FOR GUIDELINES.
15	PREPARE FLOORS FOR SCHEDULED FINISH. PROVIDE FLOAT AS REQUIRED SUCH THAT ALL FLOORING IS ON A SINGLE CONSISTENT HEIGHT (NO RAMP TRANSITIONS).
22	STORAGE MEZZANINE TO BE PROVIDED ABOVE BACK OF HOUSE AND RESTROOM. REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION.
23	COORDINATE LOCATION OF LADDER TO ACCESS STORAGE MEZZANINE ABOVE CEILING. REFER TO MEP DRAWINGS AND EXISTING CONDITIONS; NOTIFY ARCHITECT OF ANY CONFLICTS.

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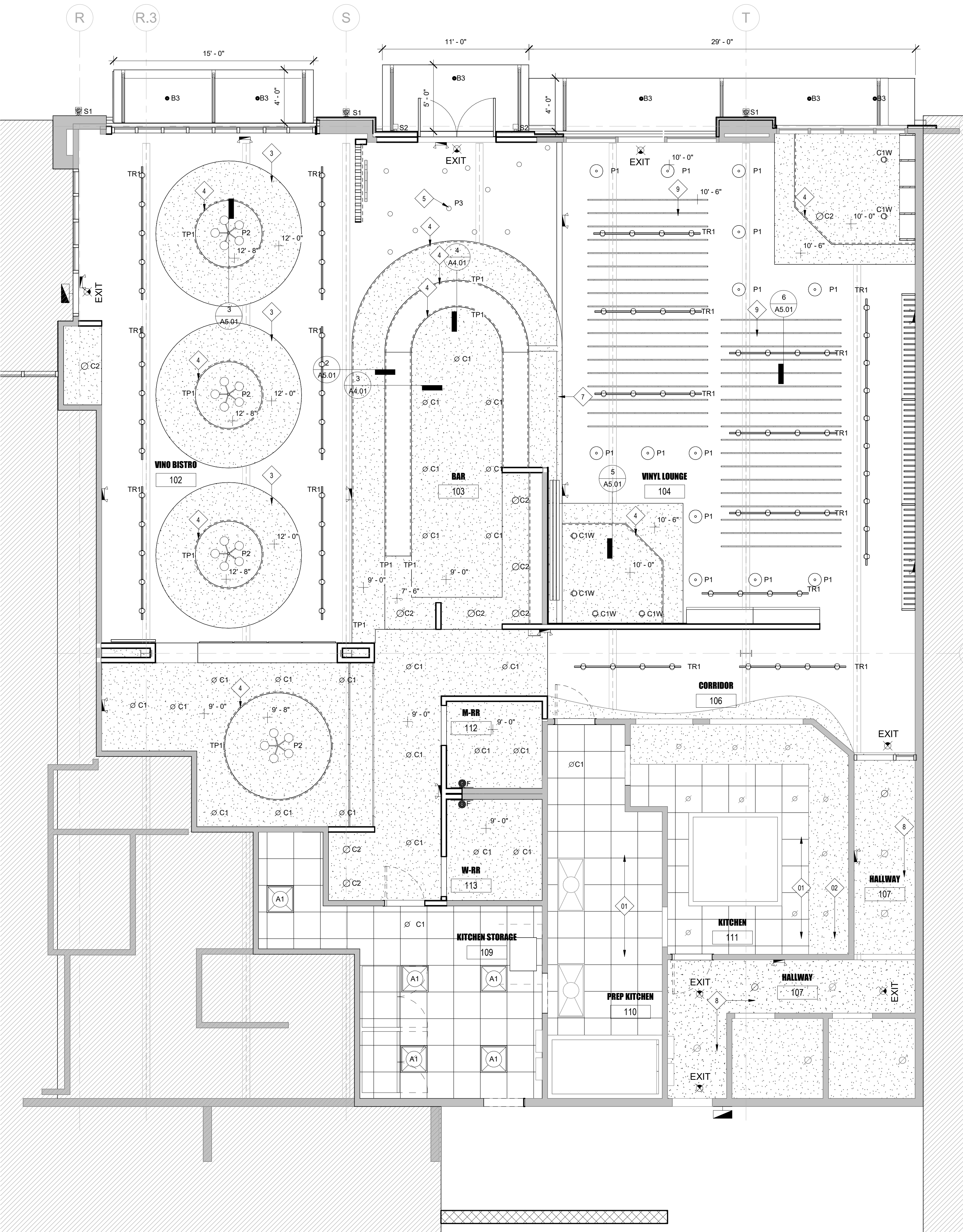
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OVERALL
FLOOR PLAN

A1.11

Scale 1/4" = 1'-0"

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1 Level 1 - Reflected Ceiling Plan
1/4" = 1'-0"

KEYNOTES - RCP

NO.	NOTE
01	NEW CEILING TILE IN KITCHEN, ALL EXISTING CEILING DEVICES TO REMAIN
02	REPAINT EXISTING SOFFIT
3	CEILING CLOUD, RE DETAILS
4	DASHED LINES REPRESENT TAPE LIGHT, RE DETAILS
5	PENDEANT FIXTURES WITH MULTIPLE BLUBS, FED FROM SINGLE CENTRAL LOCATION
7	TRACK FOR MOVABLE WALL PANELS, ATTACHED TO STRUCTURE ABOVE
8	RELAMP EXISTING LIGHT FIXTURES
9	NEW ACOUSTICAL SLAT CEILING

GENERAL - RCP

- NO WORK IN SHADED AREAS U.N.O.
- LIGHTS WITHIN CEILING TILES ARE TO BE CENTERED IN GRID, OR HELD TIGHT TO GRID AS SHOWN IN DRAWING, U.N.O.
- REFLECTED CEILING PLAN IS FOR ARCHITECTURAL DESIGN ONLY. REFER TO ELECTRICAL ENGINEER'S DRAWINGS AND LIGHTING DESIGNER DRAWINGS FOR SWITCHING, SPECIFICATIONS, AND CIRCUITING.
- REFER TO MEP ENGINEER DRAWINGS FOR ALL DUCT WORK LOCATIONS AND SUPPLY DIFFUSERS AND RETURN AIR GRILLES.
- LIGHTING SHALL BE CIRCUITED AND SWITCHED ACCORDING TO CONTROLS, BY LIGHTING CONSULTANT.
- ANY DISCREPANCIES BETWEEN THE ARCHITECTURAL, LIGHTING CONSULTANT AND/OR MEP PLANS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO PROCEEDING.
- CONTRACTOR SHALL PROVIDE SUBMITTALS OF ALL FIXTURES, DEVICES, TRIM, AND EQUIPMENT PRIOR TO ORDERING OR INSTALLATION.
- REFER TO ENGINEER'S DRAWINGS FOR FIRE ALARMS, ADA VISUAL STROBES, SMOKE DETECTORS AND EXIT SIGN LOCATIONS. COMPLETE LIFE SAFETY SYSTEMS INSTALLATION AND TEXAS ACCESSIBILITY STANDARDS REQUIREMENTS TO BE COORDINATED BY CONTRACTOR AND INSTALLED BY LICENSED INSTALLERS.
- DEVICES REQUIRING ACCESS SHALL BE LOCATED ABOVE AN ACCESSIBLE AREA TO AVOID ACCESS PANELS. WHERE ACCESS PANELS CANNOT BE AVOIDED, PROVIDE SCHEMATIC LAYOUT FOR APPROVAL.
- LIGHT FIXTURES IN SAME PLANE SHALL ALIGN U.N.O.
- FINISH HVAC DIFFUSERS, DRAPERY POCKETS, AND SPEAKER GRILLS TO MATCH ADJACENT FINISH, U.N.O.
- PROVIDE CONCEALED SPRINKLER HEADS WITH CAPS WITH FACTORY-PAINTED TO MATCH THE CEILING IN ALL DRYWALL CEILINGS. LOCATE ALL HEADS TO ALIGN WITH LIGHT FIXTURES
- CONTRACTOR REQUIRED TO ENGAGE A LICENSED FIRE SPRINKLER CONTRACTOR, FOR DESIGN AND DOCUMENTATION, AND OBTAIN REQUIRED PERMITS SEPARATELY FROM THIS PACKAGE.
- PROVIDE SPRINKLER HEAD LOCATIONS FOR ARCHITECT'S REVIEW FOR AESTHETIC PURPOSES PRIOR TO ANY INSTALLATION, AND PRIOR TO SUBMITTING DRAWINGS FOR PERMIT. CONTRACTOR WILL OTHERWISE BE REQUIRED TO RELOCATE HEADS AT THEIR SOLE EXPENSE.
- IF IT IS NOT POSSIBLE TO LOCATE SPRINKLER HEADS AS REQUIRED ABOVE FOR ANY REASON, INCLUDING, WITHOUT LIMITATION, CODE REQUIREMENTS, DO NOT PROCEED WITH WORK UNTIL SUCH CONDITIONS HAVE BEEN REVIEWED BY ARCHITECT
- REFER TO LIGHTING CONSULTANT DRAWINGS FOR LIGHTING LAYOUT AND SCHEDULE.
- ALL ADJUSTABLE FIXTURES TO BE FOCUSED UNDER OBSERVATION OF LIGHTING DESIGNER OR ARCHITECT
- NO SUBSTITUTIONS OF LIGHTING PRODUCTS ALLOWED WITHOUT WRITTEN APPROVAL FROM LIGHTING DESIGNER. CALL ATTENTION TO ANY PROPOSED SUBSTITUTIONS.

LIGHT FIXTURE SCHEDULE

Type Mark	Description	Manufacturer	Model	COLOR TEMP	Comments
A1	2x2 LENSED LAY IN	TECHNOLED	TechLED-B-2x4-C-U-A-DM-L-W-OPT	3000K	FOOD SERVICE AREA
B3	<varies>	<varies>	<varies>		
C1	3" RECESSED DOWNLIGHT	ENTRA	ENCL3R-L-L15-I/ENCL3R-L-D-927-B-B/353LEDGATOPT-60/MOC-SB	<varies>	
C1W	3" RECESSED WALL WASH	ENTRA	ENCL3R-L-L15-I/ENCL3R-L-W-927-B-B/353LEDGATOPT-60/MOC-SB	<varies>	
C2	2" RECESSED PIN LIGHT	ENTRA	ENCL2R-F-L08-I/ENCL2RFD-927-X-B/353LEDGATOPT-20	2700K	
F	Sphere 1-Light Sconce	Kohler Co.	K-32252-SC01-2GL	2700K	
P1	PENDENT CONE SHADE	MIXMATCH LIGHTING	sp-bl-r10s185172-19	2700K	
P2	7 BULB CLUSTER PENDANT	MIXMATCH LIGHTING	cc-bl-g-105170-48	2700K	
P3	14 BLUB SWAG FIXTURE	MIXMATCH LIGHTING	sw-bl-r10n1571-14	2700K	
S1	Cube Architectural - 6" Double Wall Mount	WAC Lighting	DC-WD0644-F30B	2700K	
S2	Cube Architectural - 5" Wall Mount	WAC Lighting	DC-WS05-S30S	2700K	
TP1	UNDERCOUNTER TAPE LIGHT	KLUS - MICRO H FIXTURE	C0599-A-LC-27-1910 /1-24-TBD-PH-TBD-IP20+0-10V DRIVER	2700K	UNDER COUNTERS, BARS AND COVES. RE MILLWORK
TR1	TRACK LIGHT	LIGHTOLIER	COREPRO LED-LT-L 08 RNF935BK VA	2700K	LIGHTOLIER SERIES 6000 TRACK - LENGTH AND HEADS AS SPECIFIED

EM LIGHTING LEGEND

SCHEDULE

- EXIT:** EXIT SIGN WITH BATTERY BACKUP
COMPASS - CELS1RNE // CELS2RNE / 5W LED
MINIMUM 90MIN ILLUMINATION. CIRCUIT TO NEAREST NON-SWITCHED HOT LEG.
- WE:** EGRESS LED WALL BACK, WITH BATTERY BACKUP
EVENLITE - WW-EM FINISH / 20W LED
MINIMUM 90MIN ILLUMINATION. CIRCUIT TO NEAREST NON-SWITCHED HOT LEG.
PHOTOSENSOR AND PIR MOTION
- EM:** WALL MOUNTED EMERGENCY BUG-EYE WITH SELF DIAGNOSTICS. AND NICAD BATTERY.
SURELITES - SEL25KSD
MINIMUM 90MIN ILLUMINATION. CIRCUIT TO NEAREST NON-SWITCHED HOT LEG.
VERIFY COLOR PRIOR TO ORDERING.

GENERAL NOTES

- ALL EMERGENCY EGRESS LIGHTING SHALL COMPLY WITH THE 2021 INTERNATIONAL BUILDING CODE (IBC), 2021 INTERNATIONAL FIRE CODE (IFC), NFPA 101 - LIFE SAFETY CODE, AND NFPA 70 - NATIONAL ELECTRICAL CODE (NEC).
- EMERGENCY LIGHTING SHALL PROVIDE A MINIMUM OF 1 FOOT-CANDLE (10.8 LUX) AT THE WALKING SURFACE LEVEL ALONG THE EGRESS PATH.
- THE ILLUMINATION LEVEL SHALL NOT DROP BELOW 0.1 FOOT-CANDLE (1.1 LUX) AT ANY POINT.
- EMERGENCY EGRESS LIGHTING SHALL REMAIN OPERATIONAL FOR A MINIMUM OF 90 MINUTES UPON LOSS OF NORMAL POWER.
- THE EMERGENCY LIGHTING SYSTEM SHALL BE POWERED BY A BATTERY BACKUP UNIT.
- EMERGENCY LIGHTING SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
 - EGRESS CORRIDORS, AISLES, STAIRWAYS, RAMPS, AND PASSAGEWAYS LEADING TO EXITS.
 - INTERIOR AND EXTERIOR EXIT DOORS.
 - EXIT DISCHARGE AREAS LEADING TO THE PUBLIC WAY.
 - ELEVATOR LOBBIES AND AREAS OF REFUGE WHERE REQUIRED.
- FIXTURES SHALL BE POSITIONED TO ELIMINATE SHADOWS AND BLIND SPOTS IN EGRESS PATHS.
- EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED WITH A MINIMUM OF 5 FOOT-CANDLES (54 LUX).
- LETTERING SHALL BE RED OR GREEN, AT LEAST 6 INCHES HIGH WITH A 3/8-INCH STROKE.
- EXIT SIGNS SHALL BE PROVIDED AT:
 - ALL REQUIRED EXITS AND EXIT ACCESS DOORS.
 - CORRIDORS AND STAIR ENCLOSURES LEADING TO AN EXIT.
 - DIRECTIONAL EXIT SIGNAGE SHALL BE USED WHERE EXITS ARE NOT IMMEDIATELY VISIBLE.
- EMERGENCY EGRESS LIGHTING SHALL ACTIVATE AUTOMATICALLY UPON FIRE ALARM ACTIVATION IF NORMAL POWER IS LOST.
- ALL SYSTEMS SHALL BE COORDINATED WITH:
 - FIRE ALARM PANELS.
 - SMOKE CONTROL SYSTEMS.
 - EMERGENCY POWER SOURCES.

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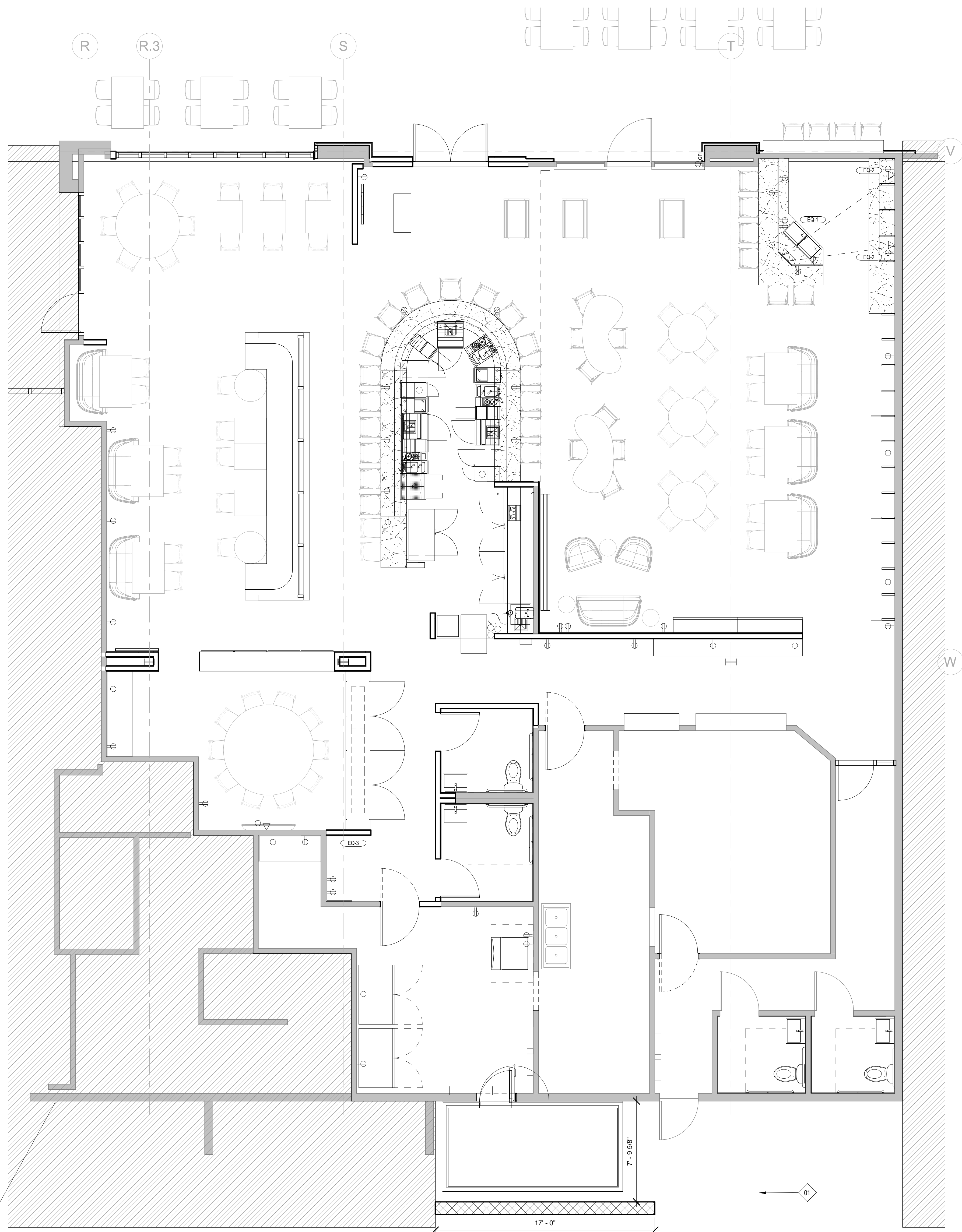
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OVERALL RCP

A1.12

Scale As indicated



KEYNOTES - POWER PLAN	
NO.	NOTE
01	PD NOTE

- GENERAL - POWER PLAN NOTES**
- ALL CONVENIENCE OUTLETS ARE TO BE MOUNTED AT 1'-6" A.F.F. U.N.O. OUTLETS INSTALLED AT A HEIGHT OTHER THAN THE STANDARD HEIGHT, SHALL BE MOUNTED HORIZONTALLY. HEIGHTS INDICATED ARE MEASURED FROM THE FINISHED FLOOR ABOVE WHICH THE OUTLET IS MOUNTED.
 - COORDINATE LOCATION OF JUNCTION BOXES WITH FURNITURE, FIXTURES AND DEVICES.
 - ALL DEVICES REQUIRING ACCESS TO BE LOCATED IN AN AREA THAT HAS ACCESS PROVIDED THROUGH ANOTHER MEANS OTHER THAN AN ACCESS PANEL (SUCH AS ABOVE TILE CEILINGS, BEHIND SCHEDULED DOORS OR CABINETS, ETC.). IF NO SUITABLE LOCATION IS FOUND, SUBMIT LAYOUT AND ACCESS PANEL SIZE REQUIREMENTS TO ARCHITECT FOR APPROVAL.
 - REFER TO ELECTRICAL ENGINEER DRAWINGS AND LIGHTING DESIGNER DRAWINGS FOR ALL CIRCUITING AND PROGRAMMING.
 - STAGGER BACK TO BACK OUTLETS.
 - SINGLE OUTLETS SHALL BE CENTERED ON WALL LATERALLY, U.N.O. MULTIPLE OUTLETS AND SWITCHES TO BE GANGED TOGETHER WHERE POSSIBLE.
 - NO WORK IN SHADED AREAS, U.N.O.
 - ALL EXPOSED FLOOR OUTLETS TO HAVE FLUSH METAL COVERS. SUBMIT FINISH OPTIONS FOR APPROVAL.
 - ELECTRICAL OUTLETS AND LIGHTING SHOWN AT MILLWORK TO HAVE ALL POWER FEEDS/WHIPS/ETC. CONCEALED WITHIN MILLWORK. TRENCHING TO BE MINIMIZED WHEN POSSIBLE, WITH GROUPING OF ALL WIRING WITHIN THE SAME SLEEVE.
 - ELECTRICAL OUTLETS SHOWN ON ARCHITECTURAL ARE SHOWN AS CONVENIENCE OR SPECIFIC-FUNCTION LOCATIONS. ALL OTHER OUTLETS REQUIRED BY CODE TO BE SPACED AND LOCATED PER ENGINEER'S DRAWINGS.

EQUIPMENT LIST			
MARK	DESCRIPTION	MFG	DETAILS
EQ-1	DJ EQUIPMENT	BY OWNER	BY OWNER
EQ-2	SPEAKER	BY OWNER	BY OWNER
EQ-3	WINE DISPLAY COOLER	BY OWNER	BY OWNER



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**OVERALL
POWER &
EQUIPMENT**

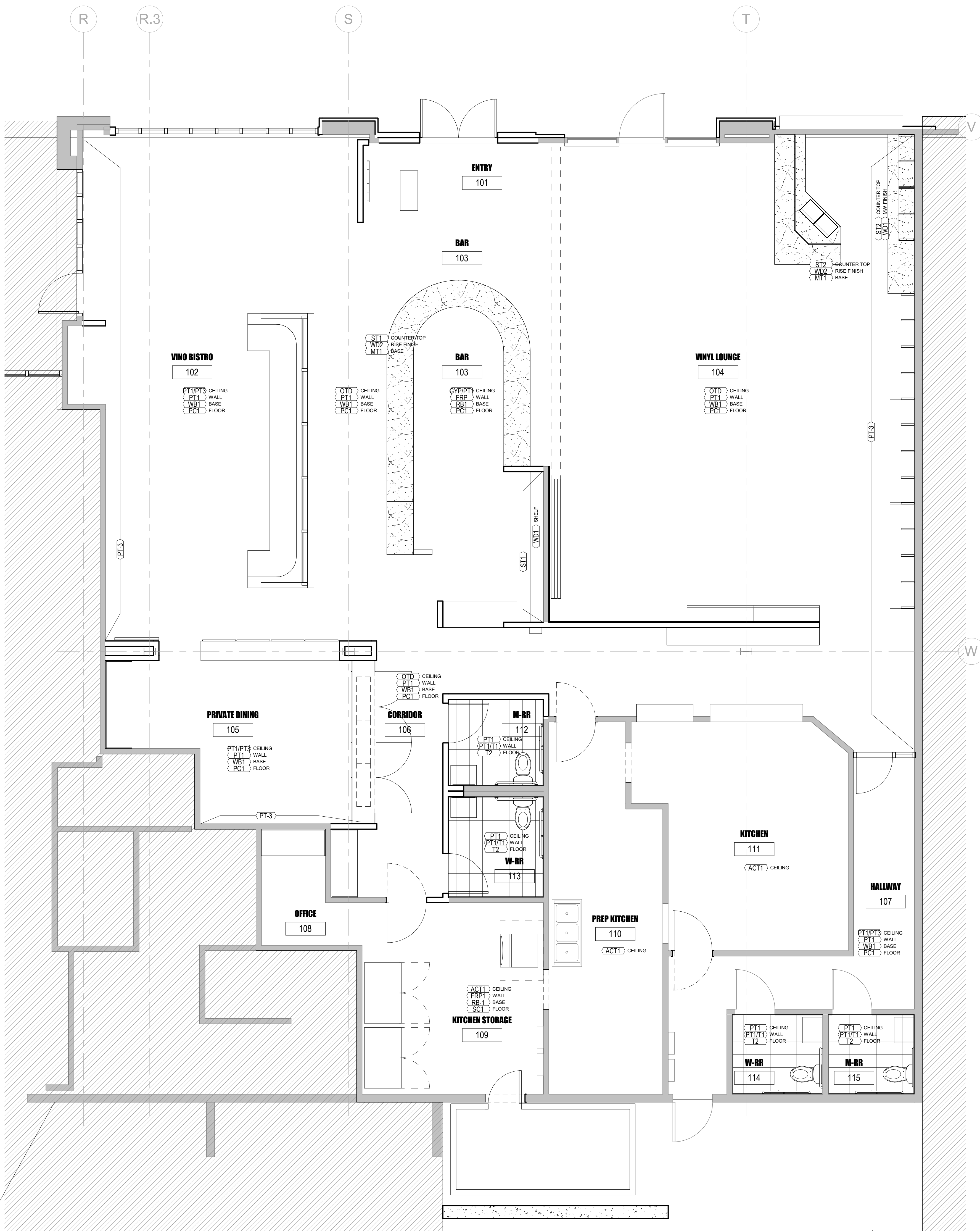
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Scale 1/4" = 1'-0"

1 Level 1 - Floor Plan - Data Equipment
1/4" = 1'-0"

KEYNOTES - FINISH PLAN	
NO.	NOTE
01	FINISH NOTE

GENERAL - FINISH PLAN	
1	NO WORK IN HATCHED AREAS. U.N.O.
2	FLOOR IS TO BE FLAT THROUGHOUT BUILDING. PROVIDE FLOAT AS REQUIRED TO PREPARE SURFACE TO ACCEPT SCHEDULED APPLIED FINISHES.
3	AREAS TO RECEIVE TILE OR STONE ARE TO HAVE ANTI-FRACTURE MEMBRANE LAID BELOW TILE.
4	ALL GYPSUM WALLS ARE TO BE FLOATED AT A LEVEL 5 FINISH IN PUBLIC-FACING AREAS, U.N.O.
5	DIRECT GLUE APPLICATION WALL COVERINGS ARE TO BE SEAM-MATCHED ACROSS WALLS.
6	REFER TO MASTER SCHEDULE FOR ALL FINISHES.
7	ALL WALLS TO BE COVERED IN GP-2 ROUGH PLASTER FINISH FULL HEIGHT U.N.O.
8	ALL FLOORING TO BE A SINGLE FINISHED HEIGHT. PREPARE FLOOR AS REQUIRED FOR DIFFERENT FLOORING THICKNESSES.
9	TRANSITION OF FLOORING FROM ONE TYPE TO ANOTHER TO OCCUR UNDER DOOR WHEN IN CLOSED POSITION U.N.O. PROVIDE SCHLUTER SCHIENE TRANSITION STRIP BETWEEN DISSIMILAR FLOORING IN BRASS/GOLD FINISH, TYP.



1 Level 1 - Floor Plan - Finish
1/4\" = 1'-0"



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**OVERALL
FINISH**

A1.14

Scale 1/4\" = 1'-0"

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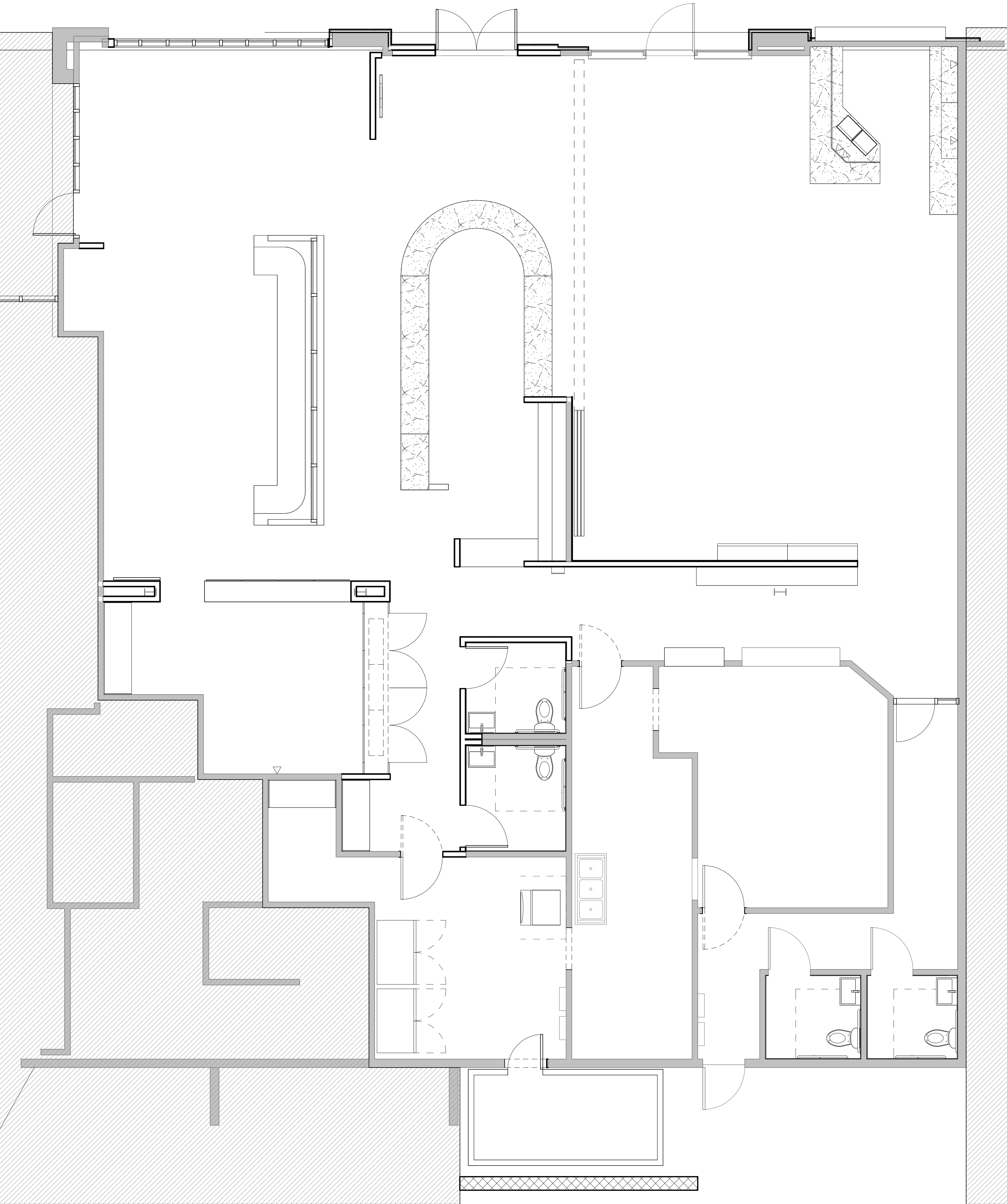
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OVERALL
LAYOUT PLAN

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As indicated



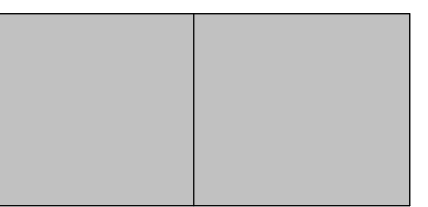
2 Level 1 - Floor Plan - Layout
1/4" = 1'-0"



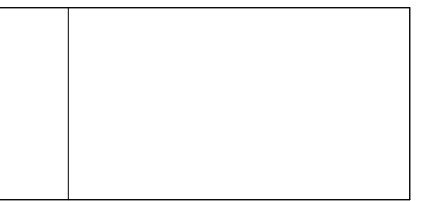
1 TOP OF PARAPET
1/8" = 1'-0"

EXTERIOR FINISHES

LEGEND



XWT-1
NEOLITH - IRON CORTEN
6MM - 63" X 128" CUT FOR LAYOUT
DIRECT ADHERED
GROUT JOINT: 1/8" - TBD



XWT-2
DALTILE - CONCRETE MASONRY GREIGE
5/16" - 15"X30"
DIRECT ADHERED
GROUT JOINT: 1/8" - TBD

GENERAL NOTES

1. COORDINATE FLASHING ELEMENTS AND COLOR MATCH TO ADJACENT SURFACE WHERE APPROPRIATE
2. PROVIDE MOCKUP OF EXTERIOR FINISH ITEMS, FOR EVALUATION AGAINST EXISTING BUILDING
3. ALL EXTERIOR WALL MOUNTED ACCESSORIES AND PENETRATIONS TO BE FINISHED TO MATCH THE EXTERIOR WALL COLOR, U.N.O.
4. ANY CONDITIONS / SELECTIONS THAT ARE UNCLEAR TO THE CONTRACTOR TO BE BROUGHT TO THE ARCHITECT'S ATTENTION BEFORE PROCEEDING
5. CONTRACTOR TO FOLLOW COMPLY WITH MANUFACTURERS INSTALLATION METHODS FOR ALL EXTERIOR FINISH ITEMS, TO MAINTAIN QUALITY AND WARRANTY.
6. HATCH PATTERNS ARE SHOWN FOR CONTRASTING ACCENT AREAS AND ARE NOT INDICATIVE OF FINISH COLOR / TYPE.

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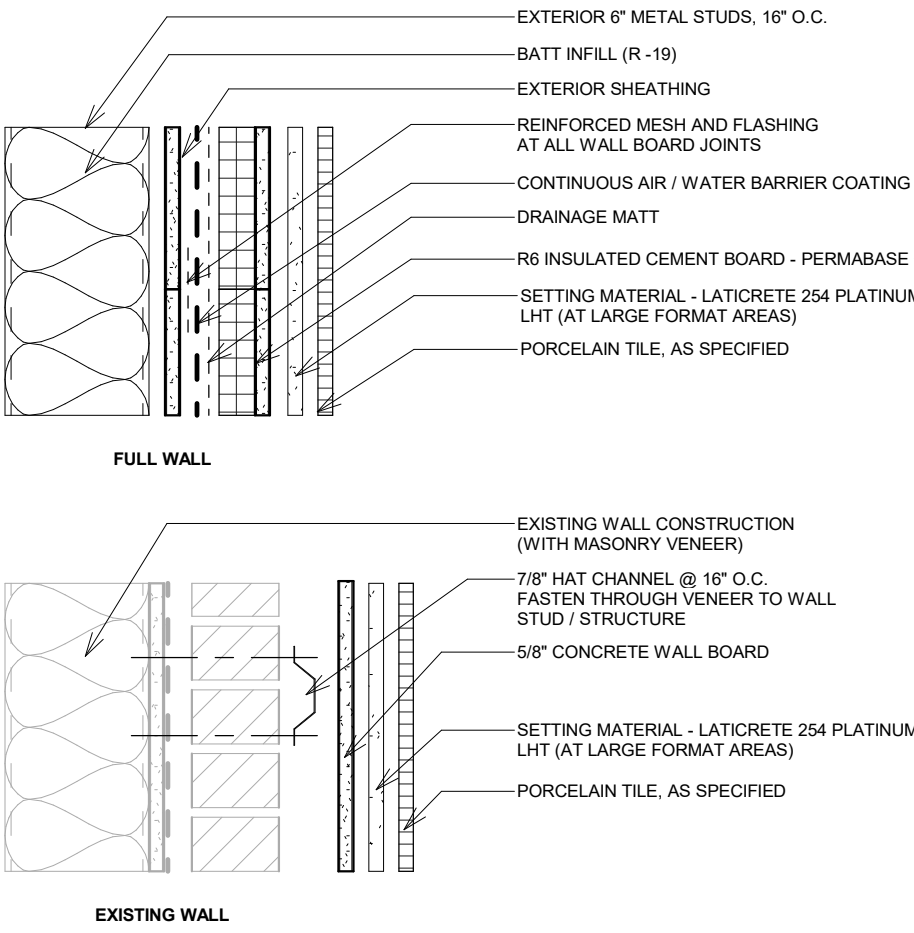
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EXTERIOR WALL COMPONENTS

DIAGRAMS



1. PROVIDE SUBMITTAL FOR EACH COMPONENT INCLUDING: PRODUCT DATA, SHOP DRAWINGS, INSTALLATION INSTRUCTION, INSTALLER QUALIFICATIONS, AND ENGINEERED DRAWINGS.
2. PROVIDE MOCKUP OF EXTERIOR FINISH ITEMS, FOR EVALUATION.
3. PROVIDE TO-SCALE WALL MOCKUP FOR THE EVALUATION OF PRODUCT INSTALLATION THROUGH THE PROJECT SEQUENCE INCLUDING FLASHING AT OPENINGS AND PENETRATIONS, AND EXTERIOR FINISH TRIM-OUT AND FLASHING.
4. ANY CONDITIONS / SELECTIONS THAT ARE UNCLEAR TO THE CONTRACTOR TO BE BROUGHT TO THE ARCHITECTS ATTENTION BEFORE PROCEEDING.
5. CONTRACTOR TO FOLLOW COMPLY WITH MANUFACTURERS INSTALLATION METHODS FOR ALL EXTERIOR FINISH ITEMS, TO MAINTAIN QUALITY AND WARRANTY.
6. CONTRACTOR TO PROVIDE SELECTED EFS MATERIAL, WATER PROOFING, AND SETTING MATERIALS SYSTEM SELECTIONS DURING BID FOR EVALUATION OF PERFORMANCE AND SUITABILITY FOR THIS PROJECT.
7. EXTEND INTERIOR GYP. BOARD TO DECK AT ALL EXTERIOR WALLS.
8. THE BASIS OF DESIGN FOR ALL WALL PENETRATIONS TO BE INSTALLED, FLASHED AND WATER TESTED, INCLUDING DOORS AND WINDOWS PRIOR TO INSTALLATION OF WALL VENEERS.
9. ALUMINUM BACKER PLATE TO BE AT EVERY WINDOW PROVIDE ALUMINUM BACKS AT TOP OF ALL VERTICAL MULLIONS.

SCHEDULE

COLD FORM METAL FRAME

Comply with AISI Specification for Design of Cold-Formed Steel Structural Members. Calculate structural properties of framing members in accordance with AISI S100, or AWS D1.3 requirements. Using load design criteria provided by structural engineer. Formed galvanized sheet steel G-60 complying with ASTM A 653, Grade A, ASTM A 1003. Studs lighter than 18 gage shall not be used.

Delegated-Design: For exterior cold-formed metal framing, comply with provided performance requirements and design criteria, provide shop drawings showing detail stud layout, gage designations, bracing, splices, bridging, framing openings, bearing, anchorage, loading, temporary bracing, welds, type and location of mechanical fasteners and accessories, or items required of other work for complete installation. Including analysis data signed and sealed by the qualified professional engineer responsible for their preparation.

Acceptable Manufacturers:
1. ClarkDietrich Building Systems, Inc. (or equivalent)

BATT INSULATION

Batt Insulation: ASTM C 665; and E 136 preformed glass fiber; friction fit. Thermal Resistance: 6" studs: R-19.

Acceptable Manufacturers:
1. CertainTeed Corporation.
2. Guardian Building Products, Inc.
3. Johns Manville.
4. Knauf Insulation.
5. Owens Corning.

- Install in exterior walls and ceiling spaces without gaps or voids. Do not compress insulation.
- Trim insulation neatly to fit spaces. Insulate miscellaneous gaps and voids.
- Fit insulation tight in spaces and tight to exterior side of mechanical and electrical services within plane. Friction fit insulation between studs after cover material has been installed on one side of the cavity. Provide supplementary support to hold the product in place until finish surface is applied when insulation is installed in heights over 8 feet.
- When unfaced insulation is used, and in applications without a cover material or where the stud depth is larger than the insulation thickness, use wire or metal straps to hold insulation in place.

5/8" EXTERIOR GYPSUM SHEATHING

ASTM C 1177, Type X fire resistant, non-combustible gypsum core incorporating water resistant material, surfaced on face and back with inorganic glass fiber mats, unsurfaced square edges, 5/8" thick x 4'-0" wide x 8'-0" long.

Acceptable Products:
1. M-Class Exterior Sheathing by American Gypsum Company.
2. Dens-Glass Exterior Sheathing by Georgia Pacific Corporation.
3. EXP Fire-Shield Sheathing by National Gypsum Company.
4. Securock by USG Corporation.

- Board edges to be centered over studs. Attach boards at perimeter and within field of board to each stud.
- Space fasteners approximately 8 inches (200 mm) o.c. and set back a minimum of 3/8 inch (9.5 mm) from edges and ends of boards.
- Provide blocking for support wherever end joints do not bear against stud framing.
- Seal sheathing joints by applying glass-fiber sheathing tape to glass-mat gypsum sheathing joints and apply and trowel silicone emulsion sealant to embed entire face of tape in sealant. Apply sealant to exposed fasteners with a trowel so fasteners are completely covered. Seal other penetrations and openings. Seal all miscellaneous wall penetrations including abandoned holes.

CONTINUOUS WATER VAPOR BARRIER

TREMO EXOAIR 230
Fluid-applied, synthetic, vapor-permeable air barrier designed for use in commercial construction application.
Warranty term shall be 10 years minimum.

All components of the vapor barrier / flashing system, shall be provided by Tremco, Inc. or their authorized distributors. Substitutions or additions of materials manufactured or supplied by others will void the system warranty.

Provide a full turnkey waterproofing solution, consisting of:

- a. An Air and Water-Resistive Membrane Barrier - Tremco ExoAir® 230
- b. Transition membranes
- c. Thru-wall flashing
- d. Metal flashing
- e. Reinforcing Fabric
- f. Joint Sealants

Contractor to provide selected material selections during bid for evaluation of performance and suitability for this project.

Contractor Qualifications:

- Knowledgeable in the proper installation of the Air / Moisture Barrier

• Possess a current copy of the manufacturer's Trained Contractor Certificate for the system specified.

• Successfully complete a minimum of three (3) projects of similar scope and scale to the specified project.

Pre construction meeting: The installer shall coordinate with the General Contractor to schedule, invite and administer a pre-construction meeting including but not limited to the architect of record, consultant(s), sheathing board, accessory materials and sealant manufacturer's representatives and the owner to assure required integration of products selected as specified herein and for proper sequencing and installation detailing. Warranty mandated

Submittals:

- Submit product data.
- Submit shop drawings showing wall layout, connections, details, expansion joints, and installation sequence.
- Submit a copy of the manufacturer's installation details and application instructions.

INSULATED CEMENT BOARD SHEATHING

ASTM C1289, Type I or Type II, Class 2, rigid, cellular, polyisocyanurate thermal insulation bonded to 1/4 inch cement board.

1. Basis of Design: PermaBASE Building Products, LLC provided by National Gypsum Company.
a. PermaBASE® C1™ Insulated Cement Board

2. Thickness: 1 1/2 inch (31.7 mm)
3. R-Value: ASTM C518 6, minimum.
4. Edges: Square.

SUBMITTALS

1. Product Data
Each type of gypsum product
Cementitious tile backer board

CEMENT BOARD SHEATHING

Cement Board is a rigid substrate made of Portland cement, aggregate and glass mesh which can withstand prolonged exposure to moisture per ASTM C1325

1. Basis of Design: PermaBASE Building Products, LLC provided by National Gypsum Company.
a. PermaBASE® Cement Board.

2. Thickness: [5/8 inch (15.9 mm)]
3. Weight: 2.9 lbs./sq.ft. (14.2 kg/m2)
4. Edges: Round.
5. Sustainability: GREENGUARD Gold Certified.
6. Mold/Mildew Resistance: ASTM D3273; Score of 10

SUBMITTALS

1. Product Data
Each type of gypsum product
Cementitious tile backer board

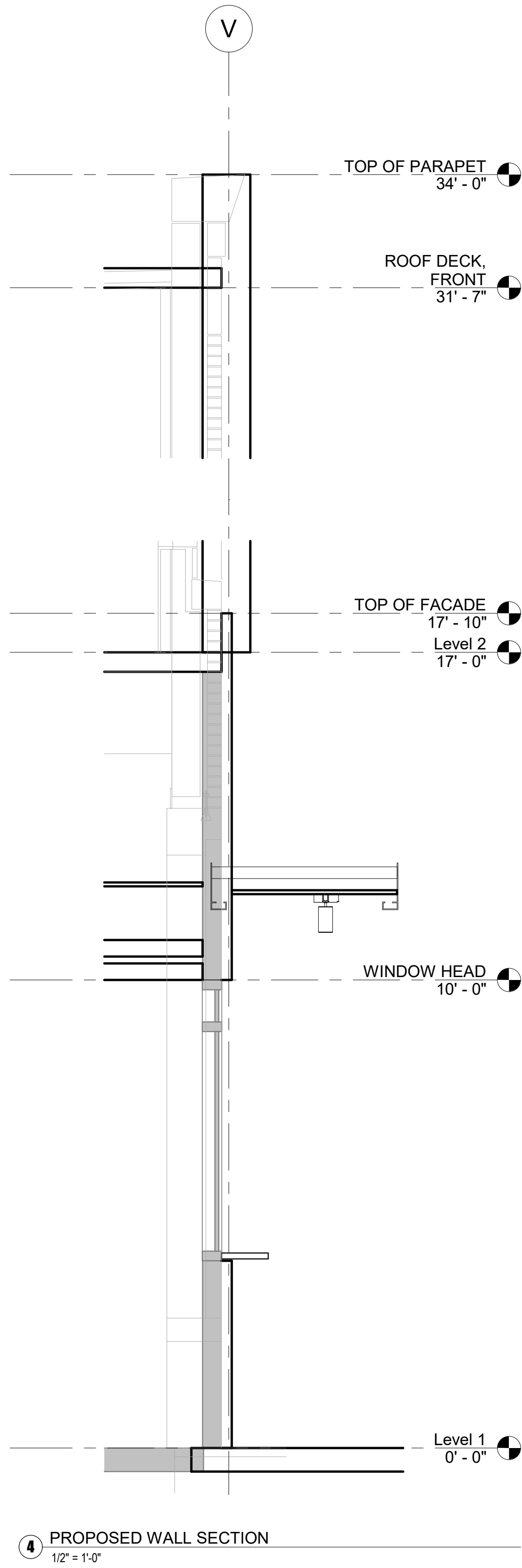
SETTING MATERIALS

EXTERIOR WALL TILE
LATICRETE 254 PLATINUM PREMIUM POLYMER-FORTIFIED THIN-SET MORTAR, ONE-COMPONENT, WATER-MIXED ADHESIVE MORTAR COMPLYING WITH ANSI A118.15, SUITABLE FOR INTERIOR AND EXTERIOR FLOOR AND WALL APPLICATIONS; PROVIDE NON-SAG, HIGH-BOND SETTING MATERIAL FOR EXTERIOR CERAMIC, PORCELAIN, OR STONE TILE INSTALLATIONS.

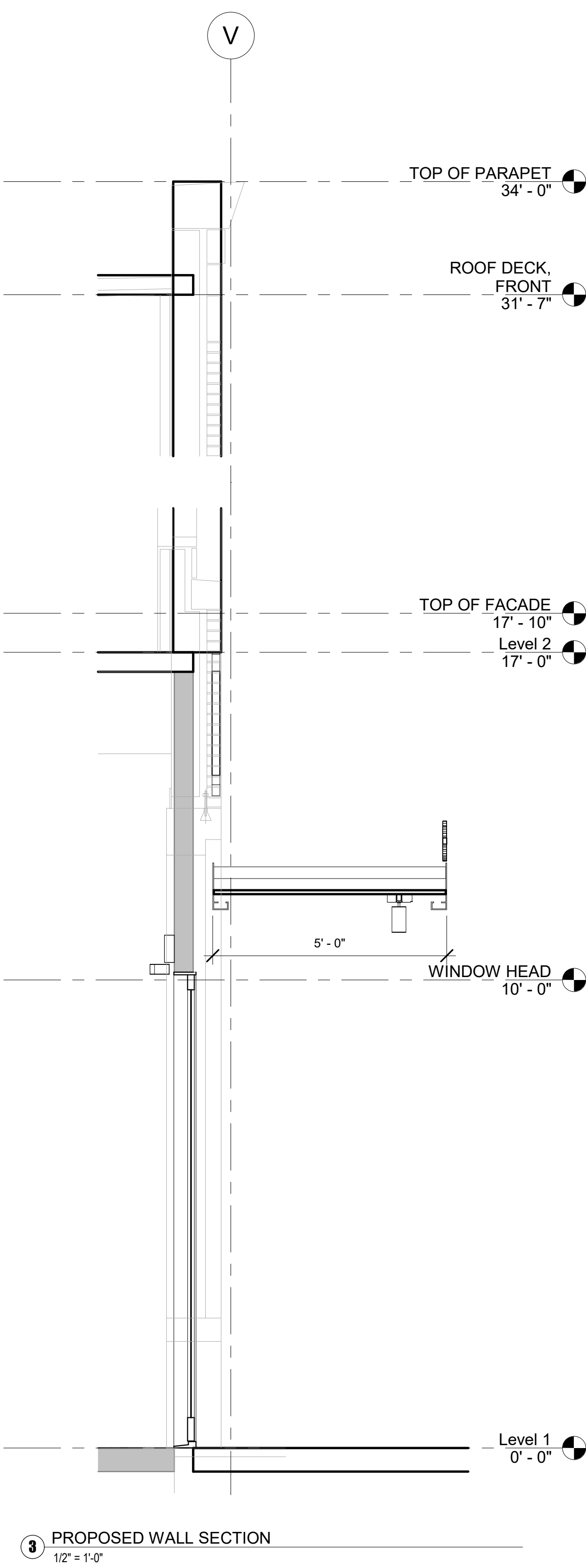
EXTERIOR LARGE FORMAT TILE / SOLID SURFACE
LATICRETE LHT™ PREMIUM POLYMER-FORTIFIED LARGE AND HEAVY TILE MORTAR, ONE-COMPONENT, WATER-MIXED, NON-SAG ADHESIVE MORTAR COMPLYING WITH ANSI A118.4 H, SUITABLE FOR INTERIOR AND EXTERIOR WALL APPLICATIONS; PROVIDE HIGH-BOND SETTING MATERIAL FOR EXTERIOR CERAMIC, PORCELAIN, THIN BRICK, OR STONE TILE INSTALLATIONS.

INSTALLATION: INSTALL IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS, ANSI A108, AND APPLICABLE TCNA DETAILS.

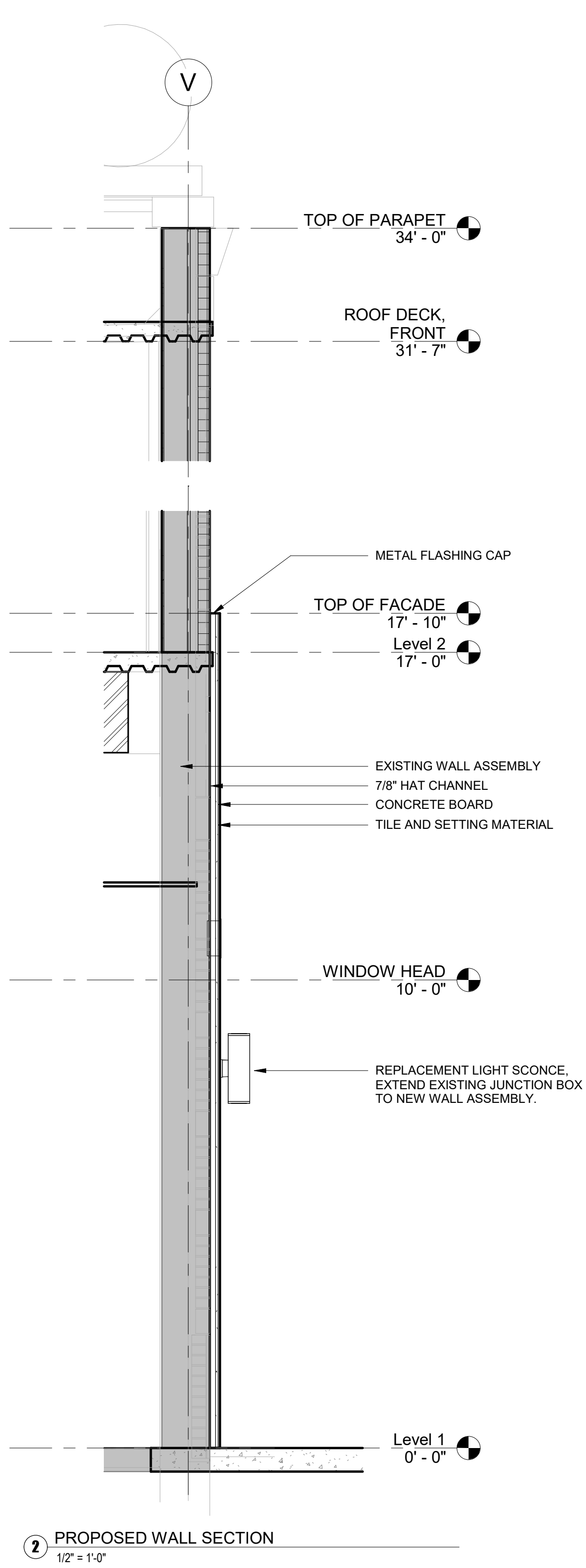
SUBSTITUTIONS: NO SUBSTITUTIONS WITHOUT ARCHITECT APPROVAL.



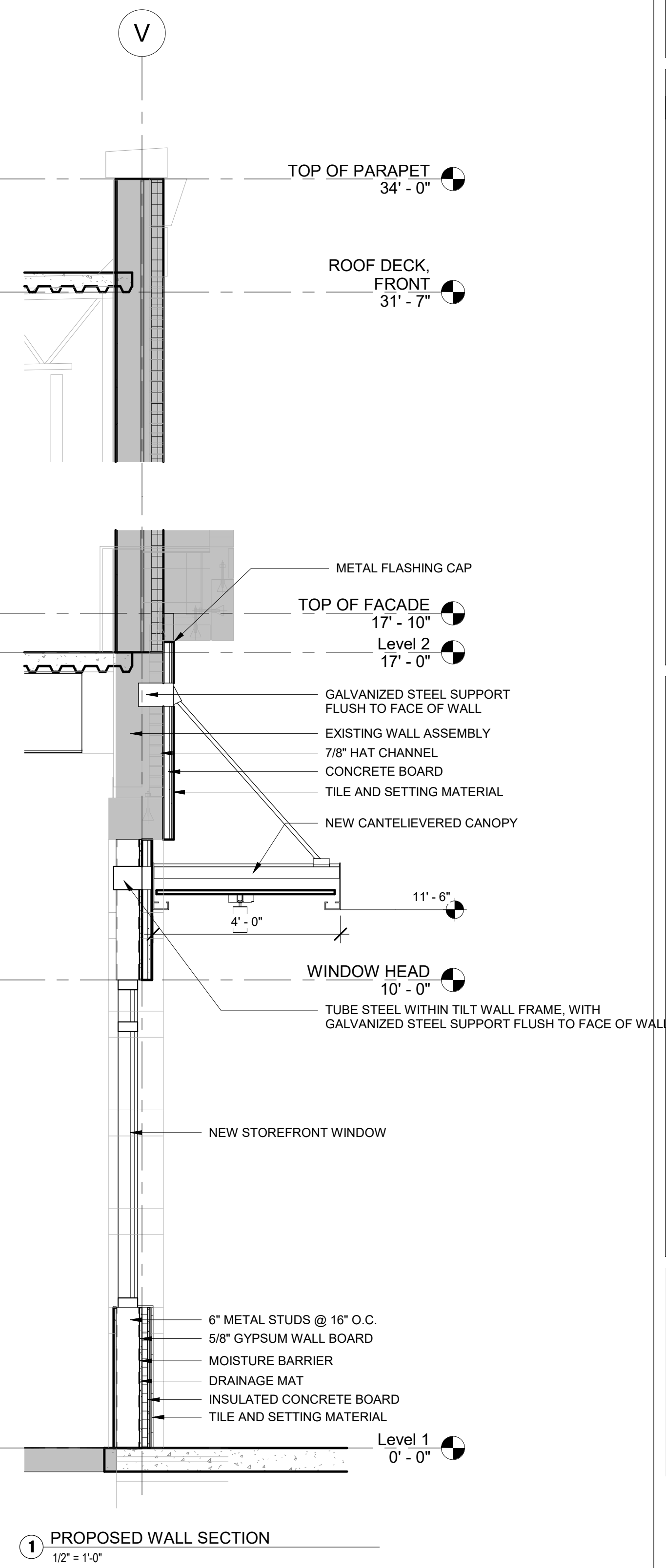
4 PROPOSED WALL SECTION
1/2" = 1'-0"



3 PROPOSED WALL SECTION
1/2" = 1'-0"



2 PROPOSED WALL SECTION
1/2" = 1'-0"



1 PROPOSED WALL SECTION
1/2" = 1'-0"

ARCHITANGENT

5311 Rose St. | Houston, TX 77007

Consultants

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CONSTRUCTION.

Issue Log

#	Date	Description
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Project Info

VINO & VINYL
15977 City Walk
Sugar Land, TX 77479

Sheet

EXTERIOR
WALL
SECTIONS

A2.10

Scale As indicated



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Issue Log

#	Date	Description
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Project Info

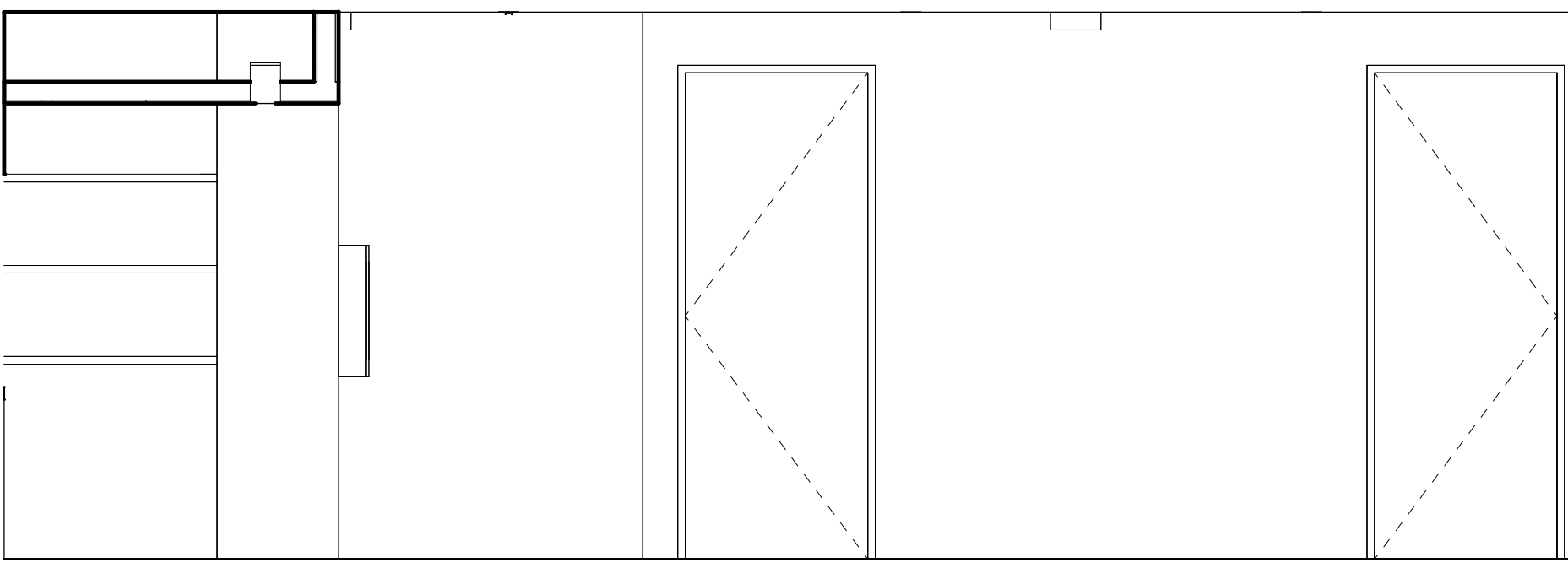
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15977 City Walk
Sugar Land, TX 77479

Sheet

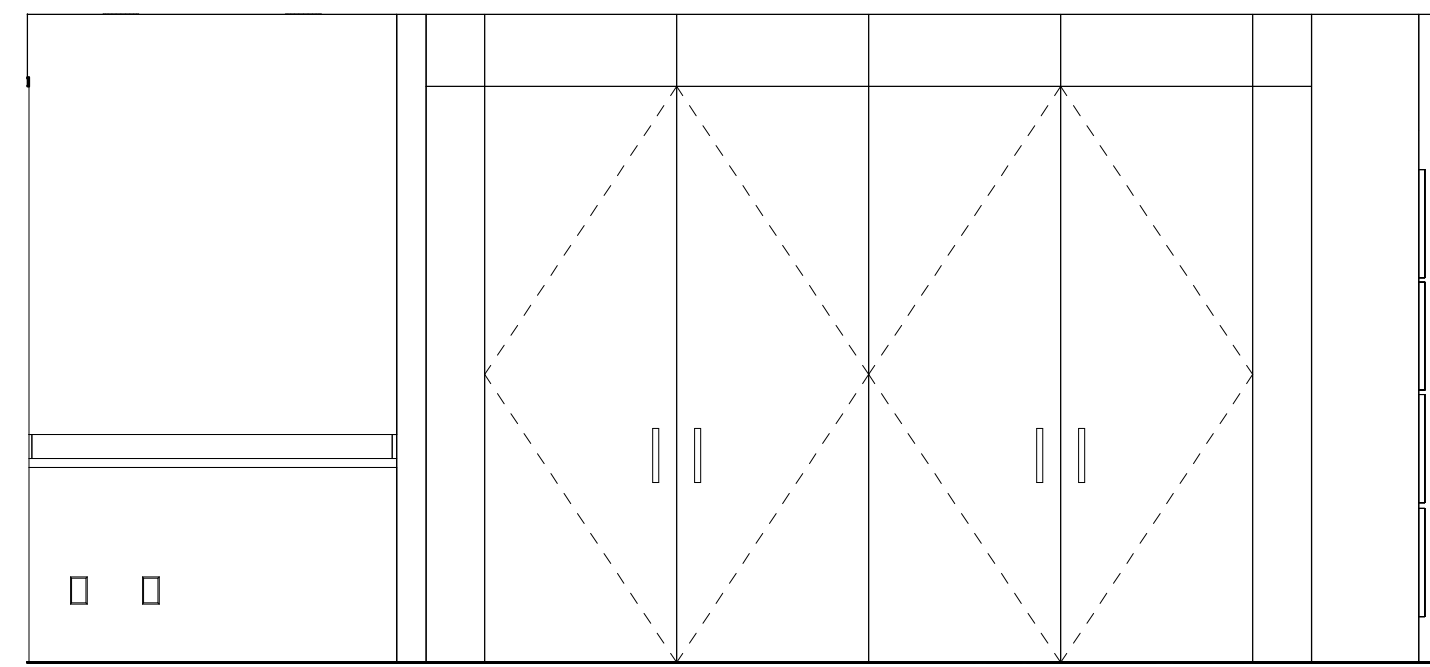
ENLARGED
INTERIOR
ELEVATIONS

A2.61

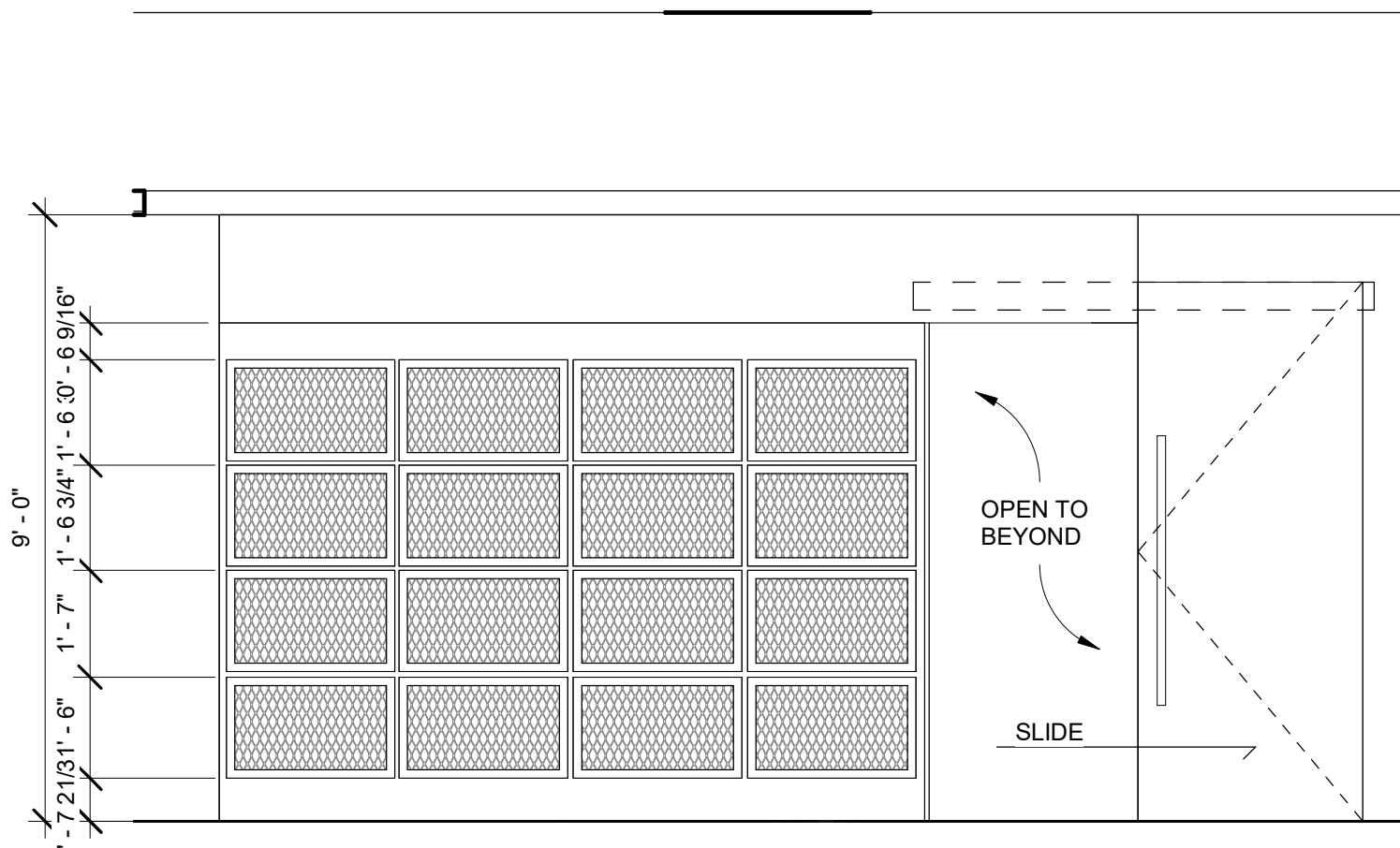
Scale 3/8" = 1'-0"



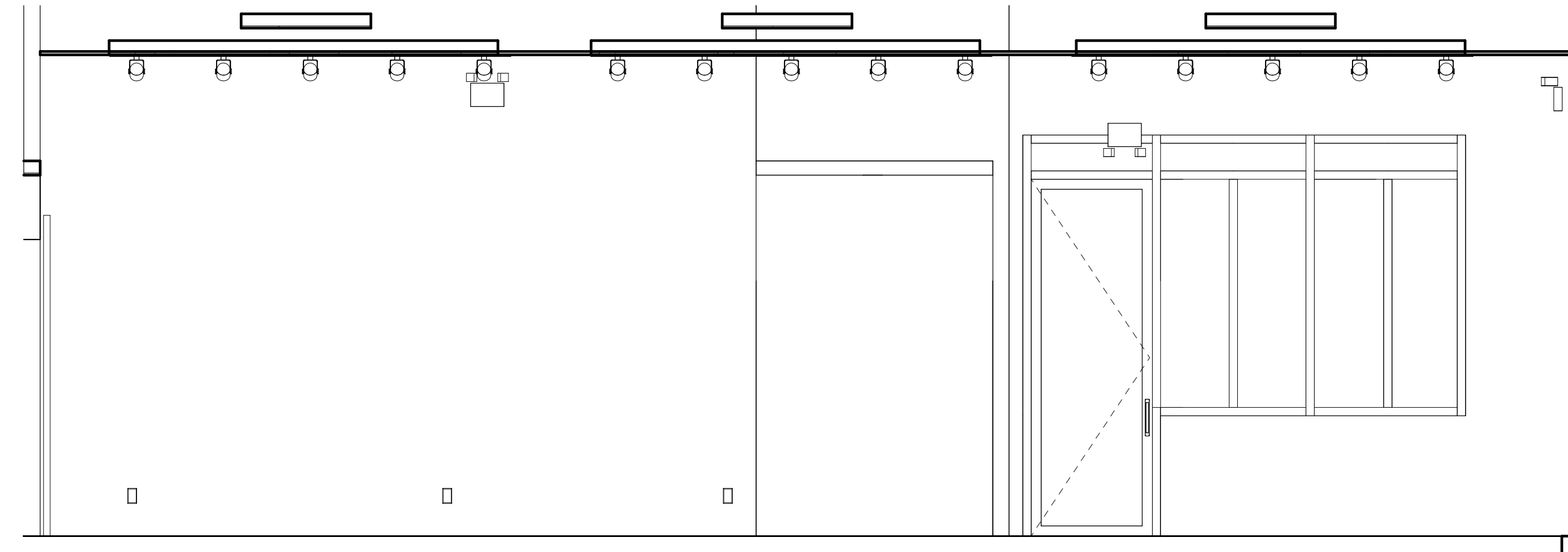
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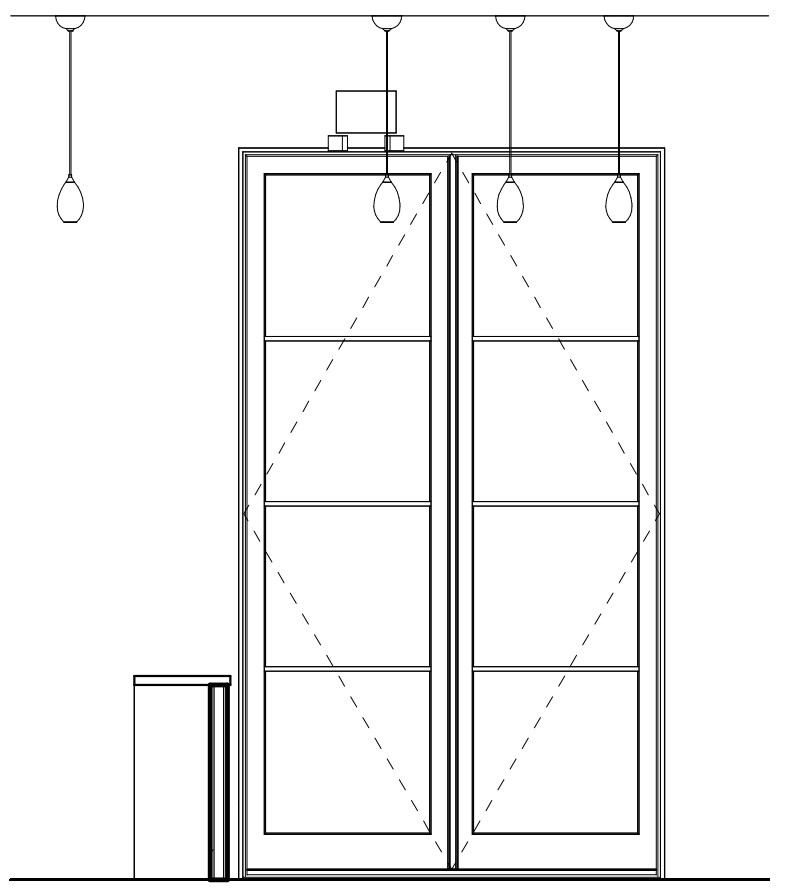
9 Elevation 10 - a
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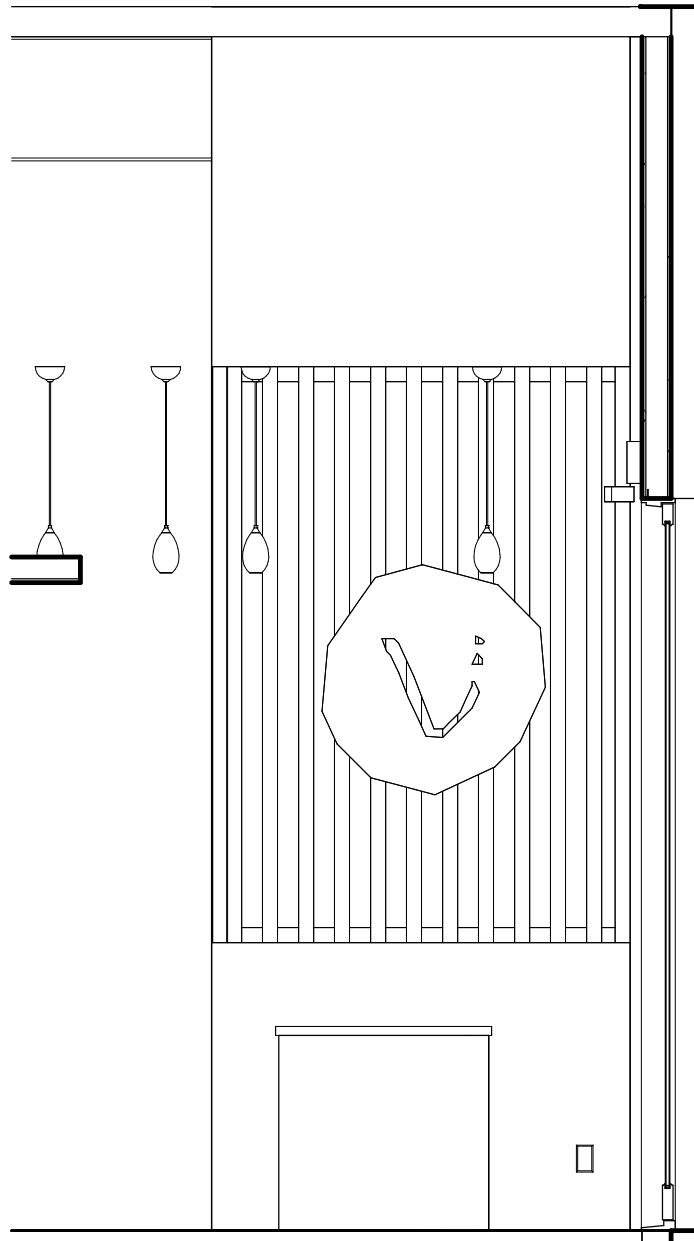
4 Elevation 3 - a
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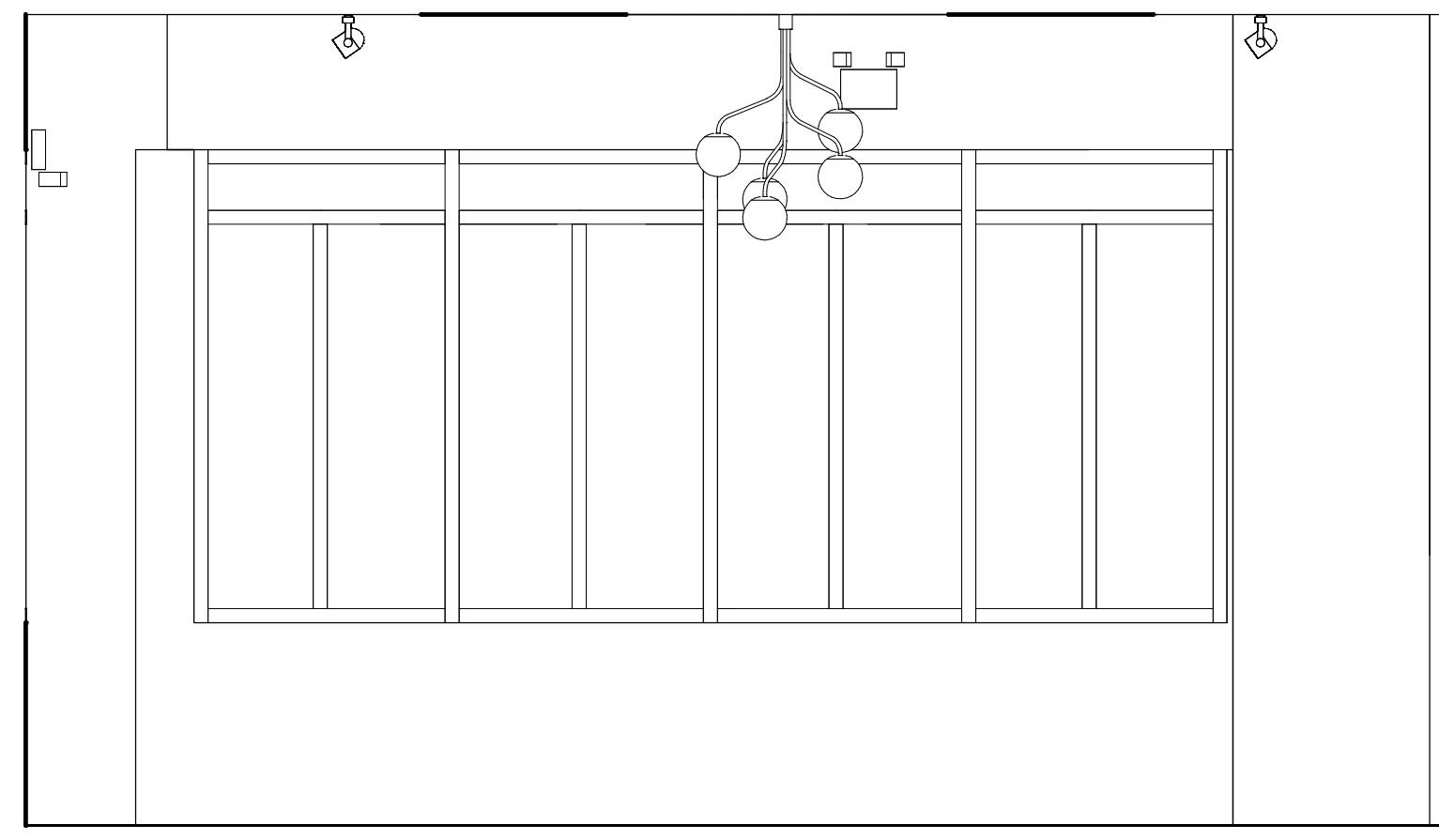
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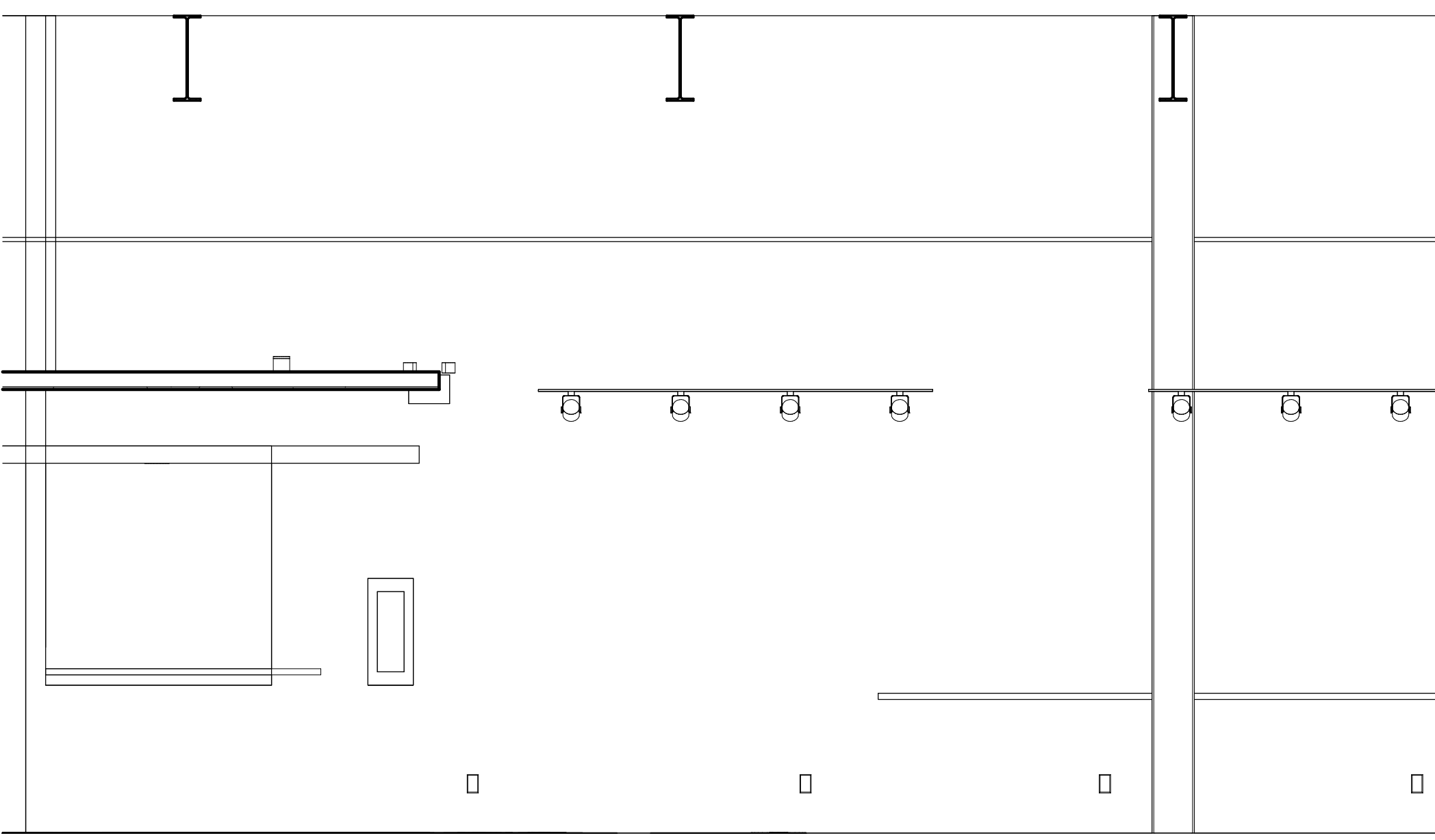
3 3 - a
3/8" = 1'-0"



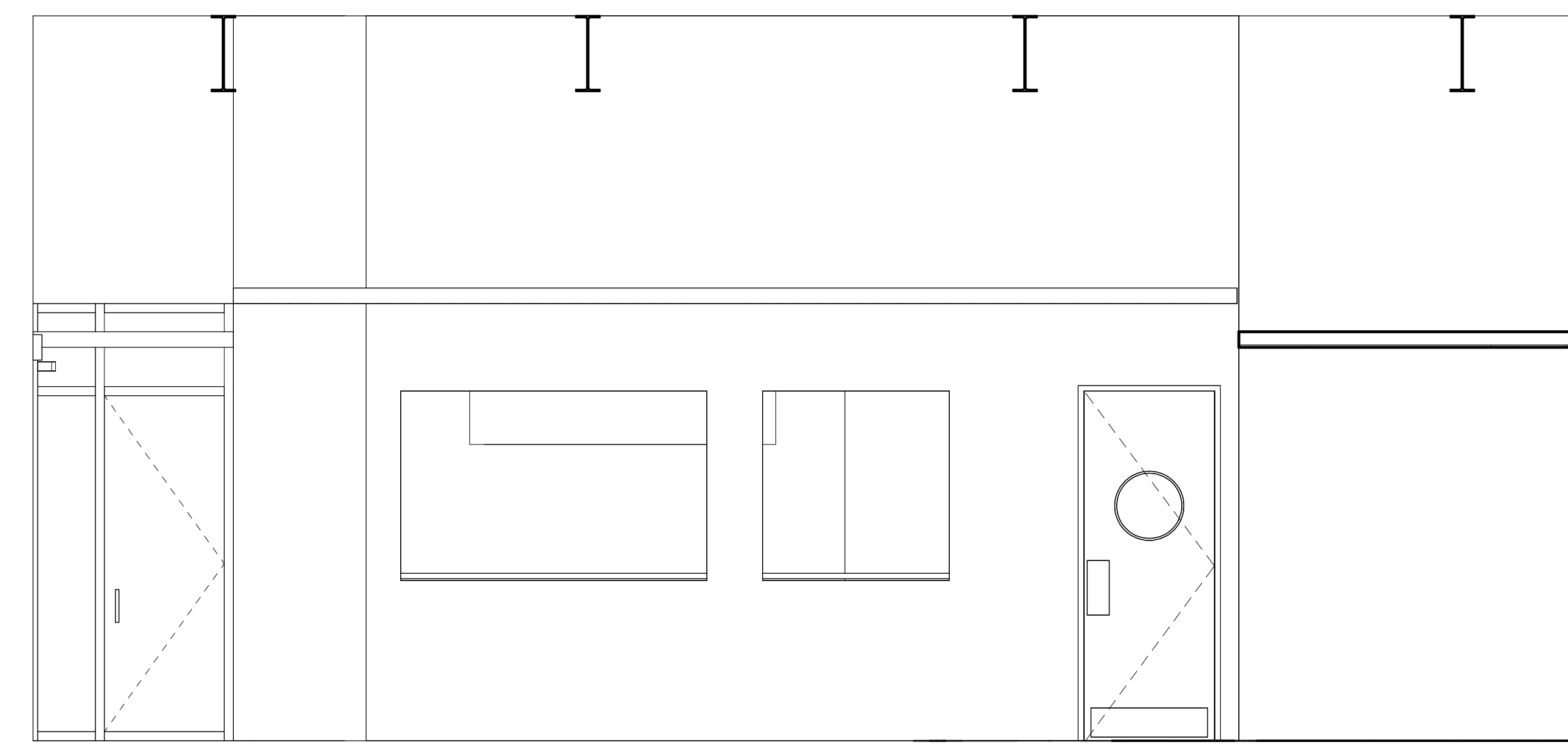
2 2 - a
3/8" = 1'-0"



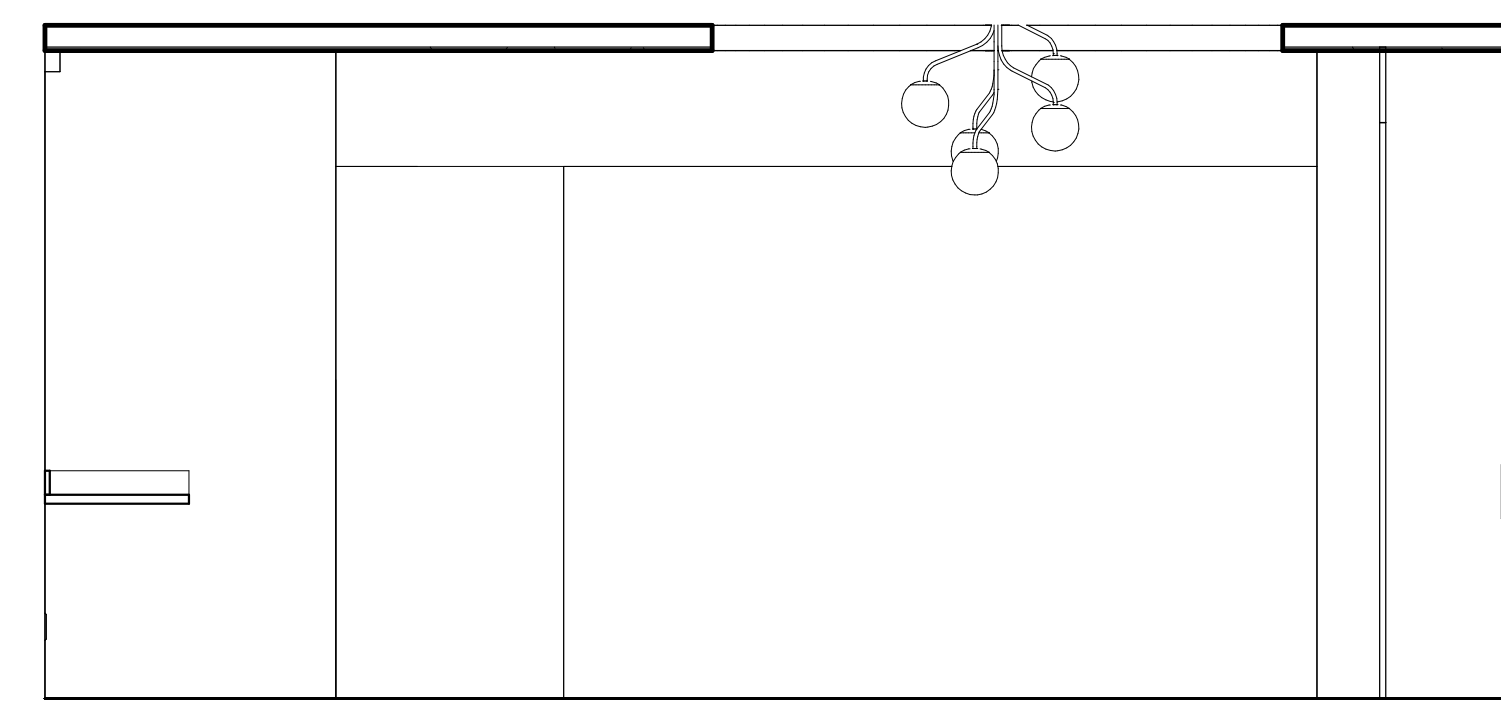
1 1 - a
3/8" = 1'-0"



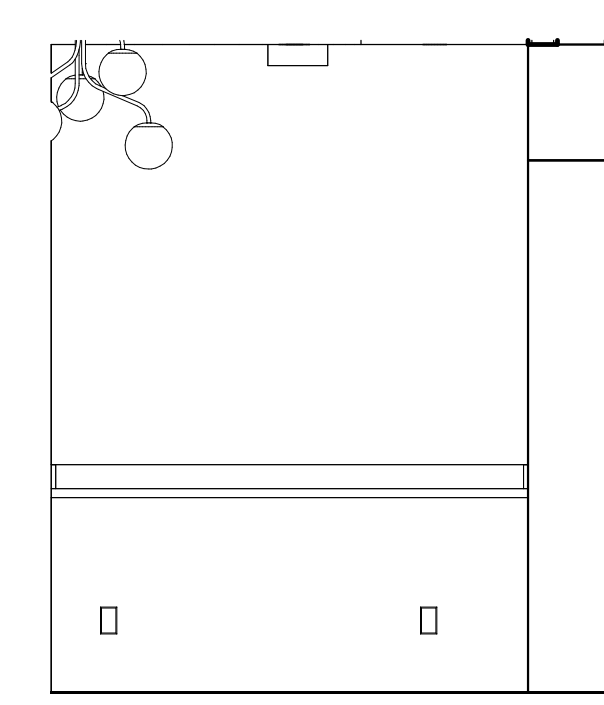
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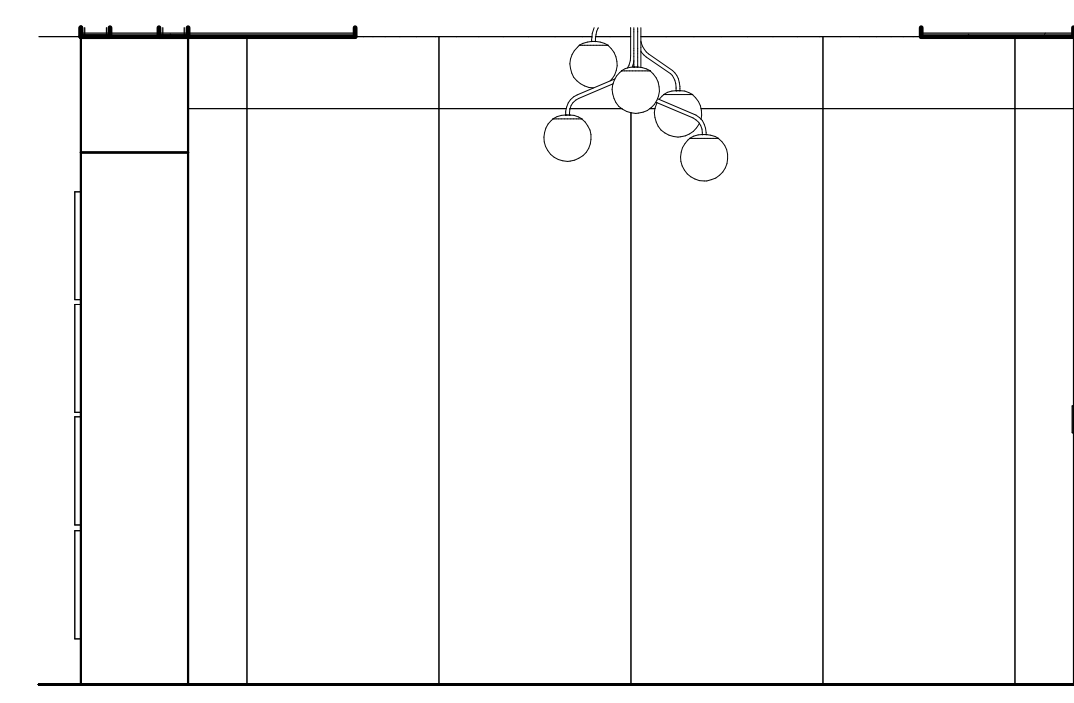
1 6 - a
3/8" = 1'-0"



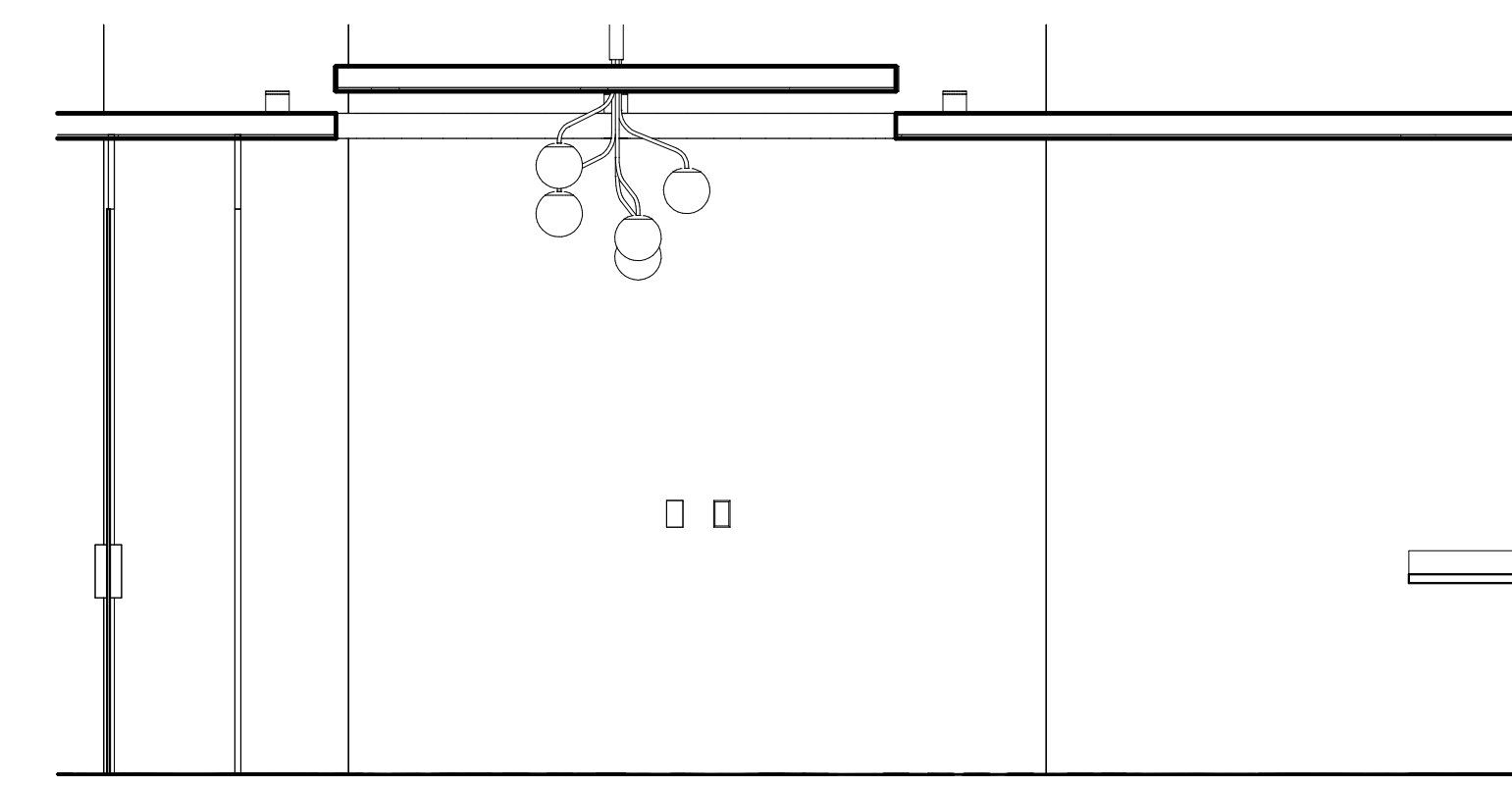
4 Elevation 1 - c
3/8" = 1'-0"



3 Elevation 1 - b
3/8" = 1'-0"



9 Elevation 1 - d
3/8" = 1'-0"



8 Elevation 8 - a
3/8" = 1'-0"



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CONSTRUCTION.

Issue Log

#	Date	Description
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Project Info

VINO & VINYL
15977 City Walk
Sugar Land, TX 77479

Sheet

ENLARGED
INTERIOR
ELEVATIONS

A2.62

Scale 3/8" = 1'-0"



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APPROVAL, PERMITTING, OR
CONSTRUCTION.

Issue Log

#	Date	Description
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Project Info

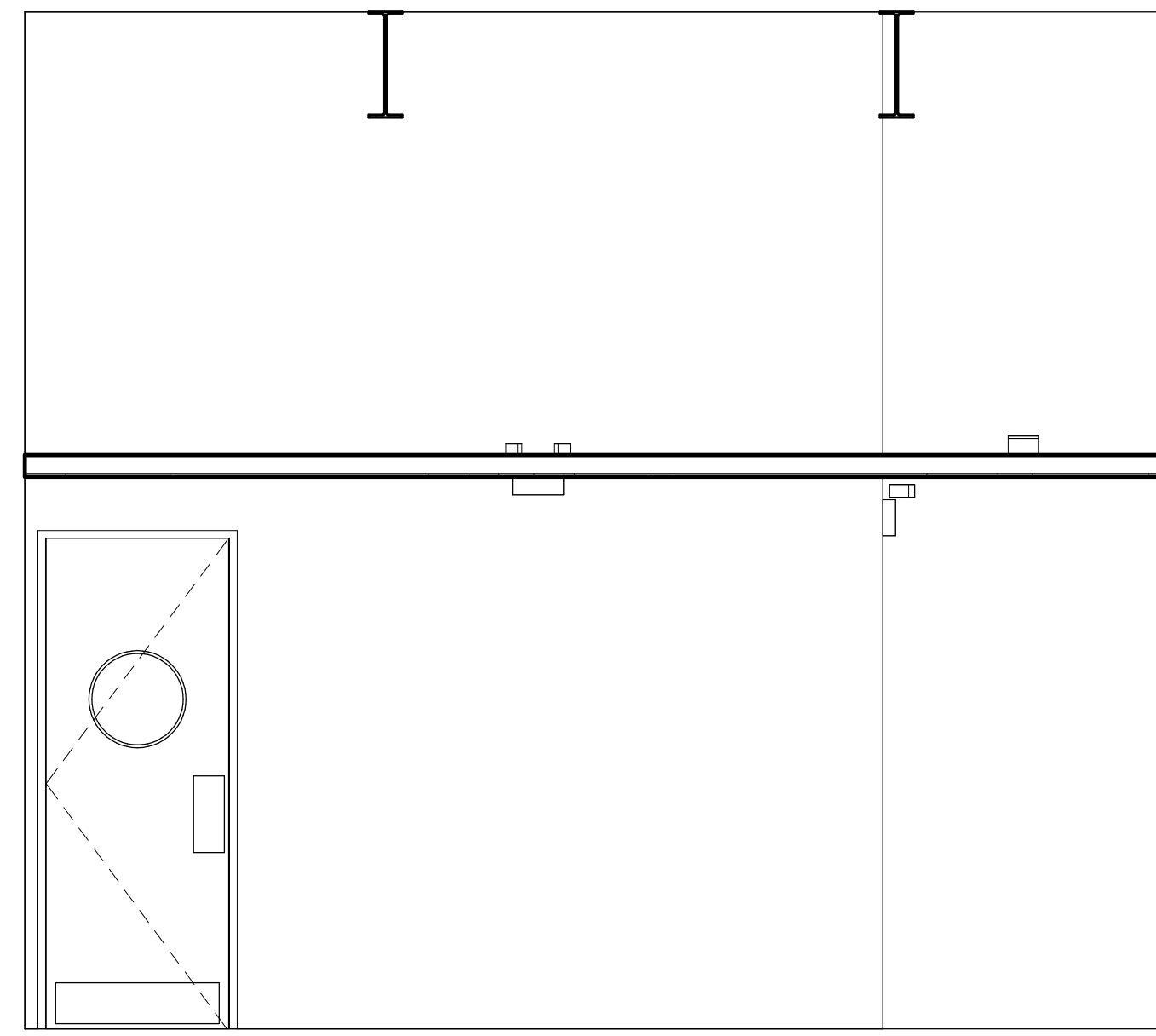
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15977 City Walk
Sugar Land, TX 77479

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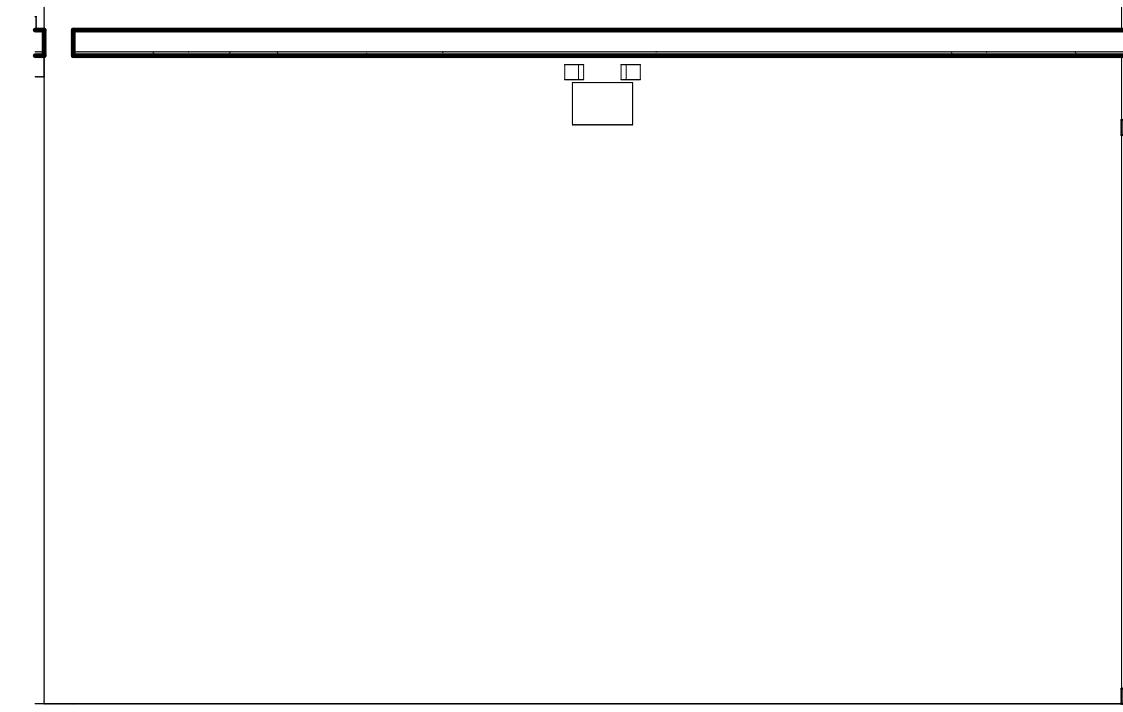
ENLARGED
INTERIOR
ELEVATIONS

A2.63

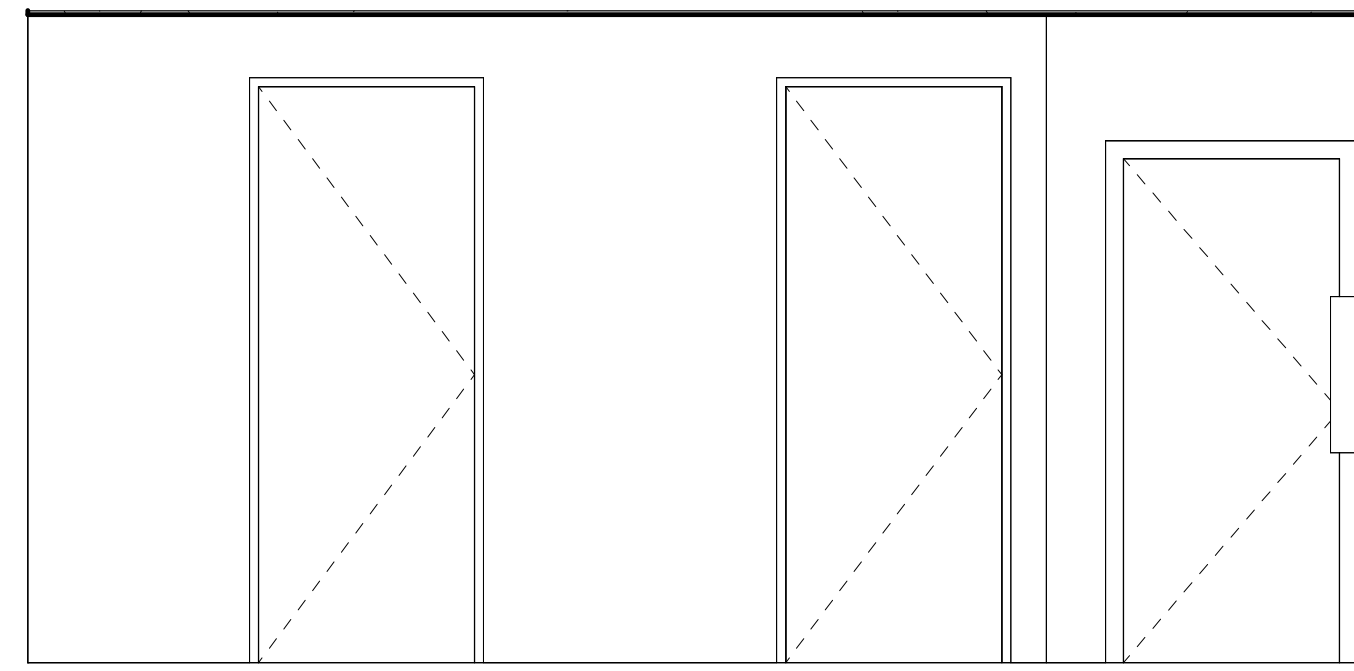
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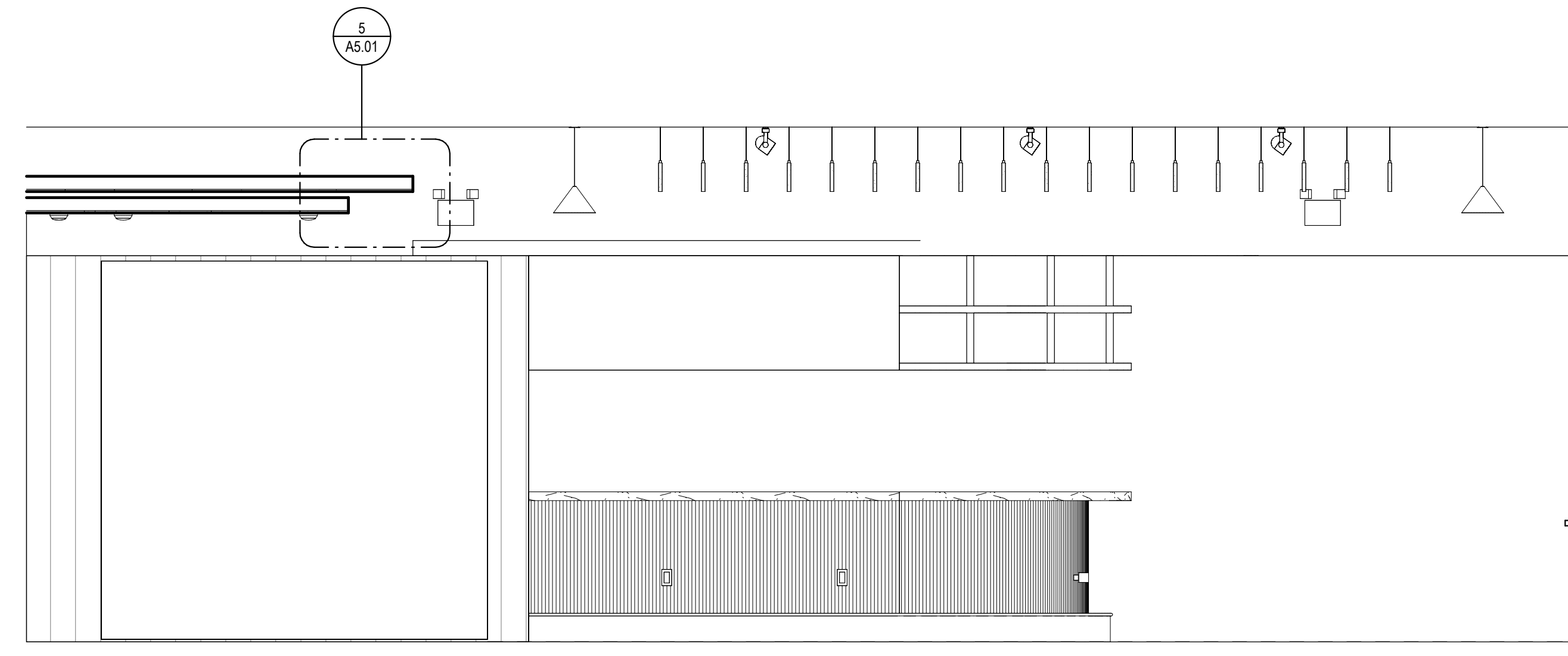
7 Elevation 24 - a
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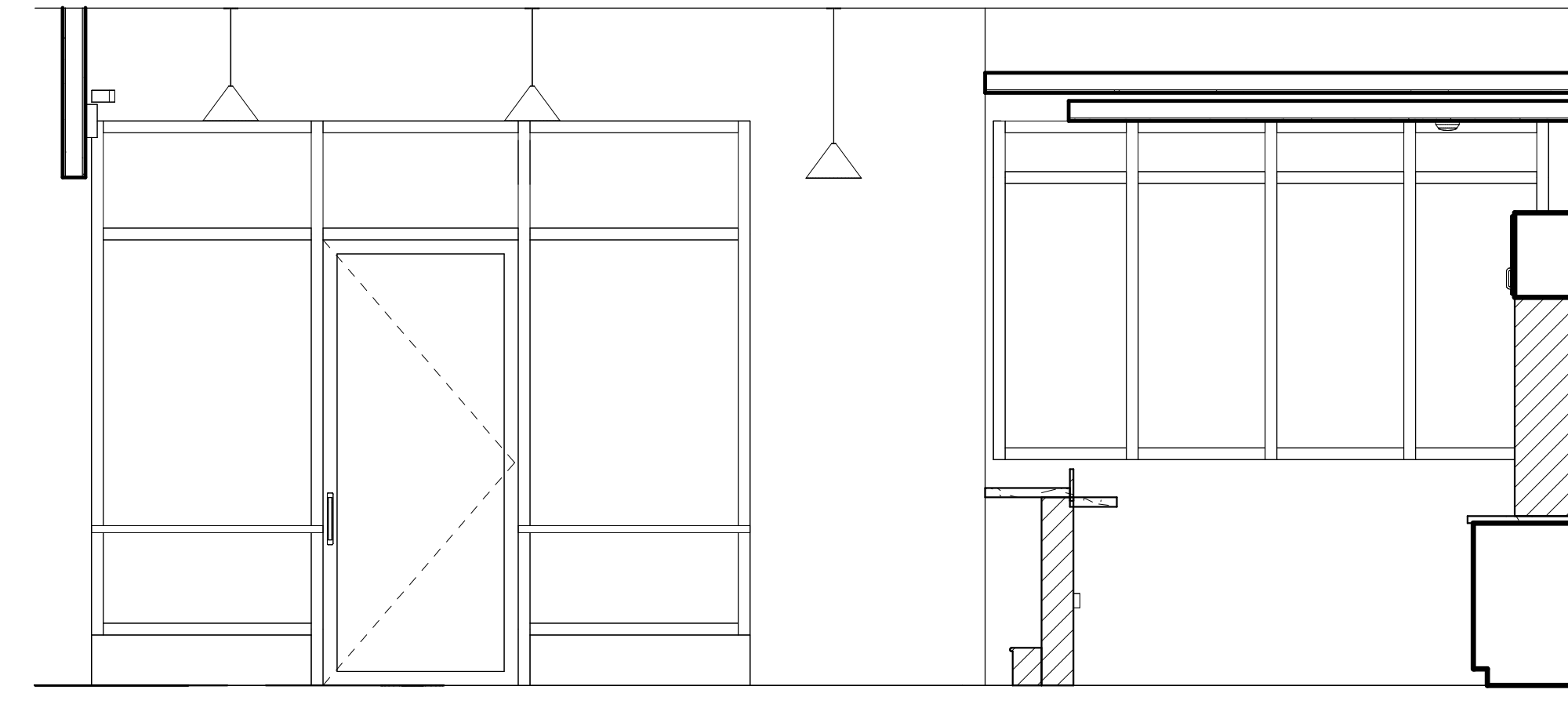
4 Elevation 22 - a
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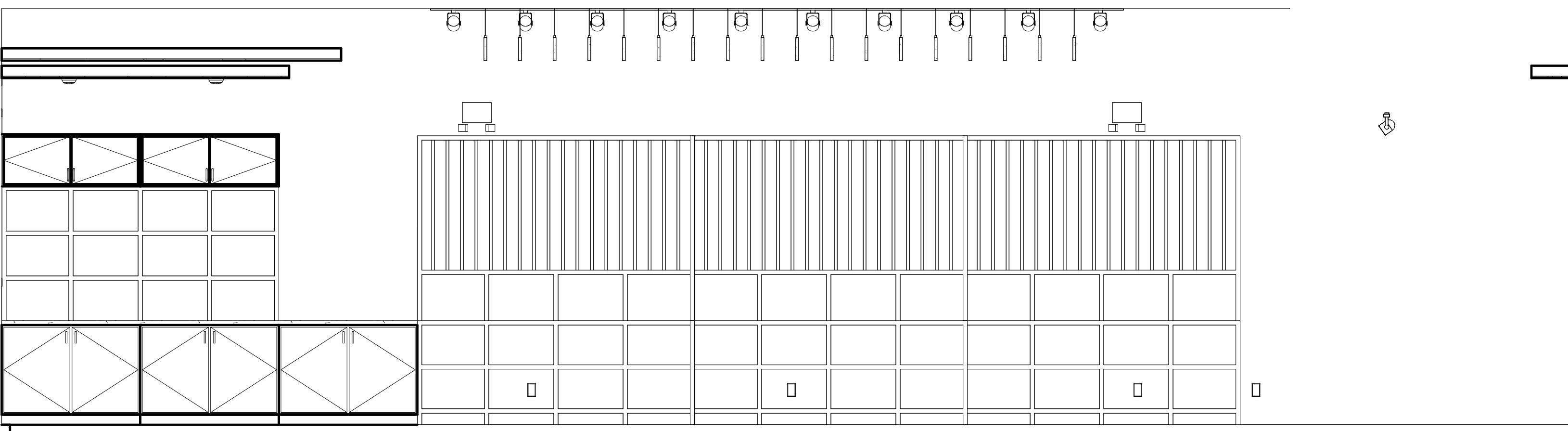
6 Elevation 23 - a
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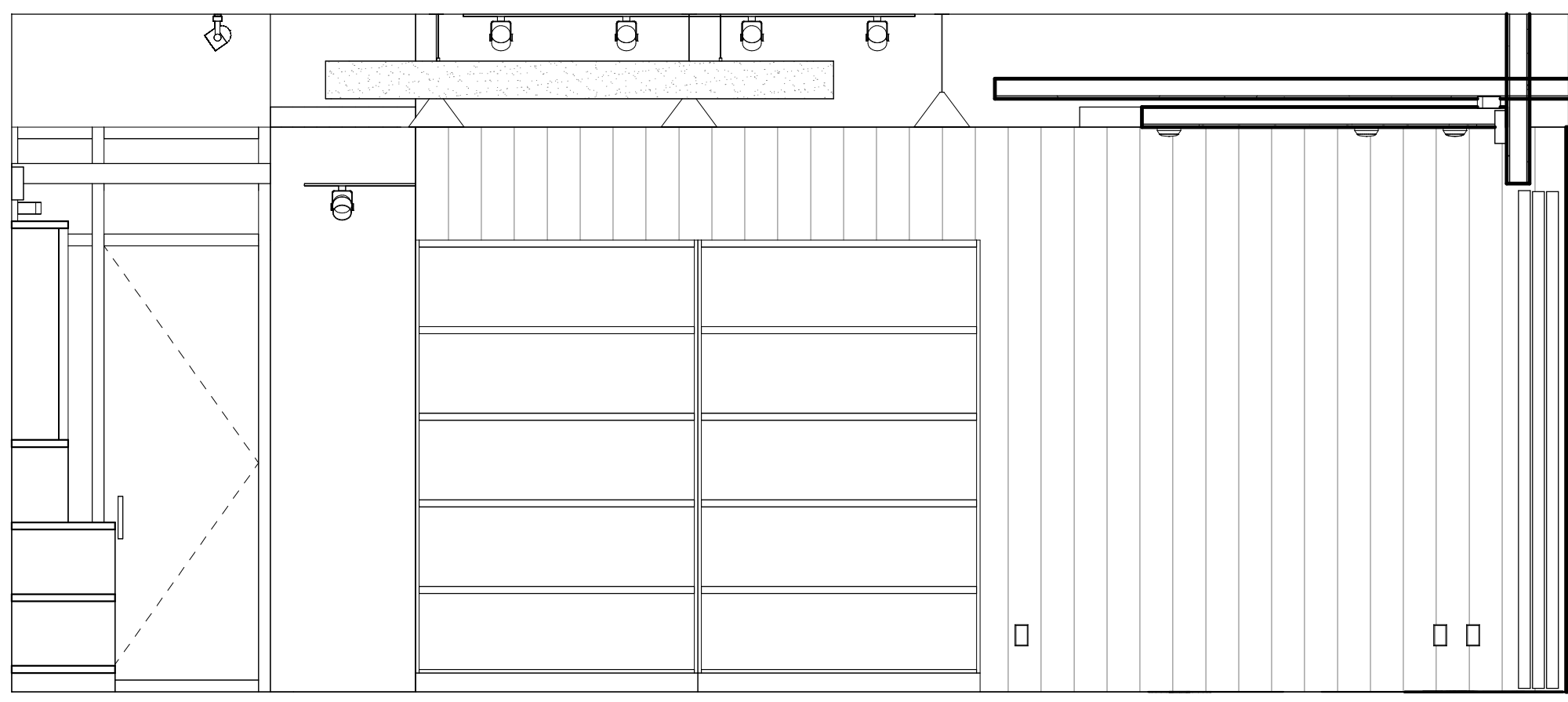
8 Elevation 36 - a
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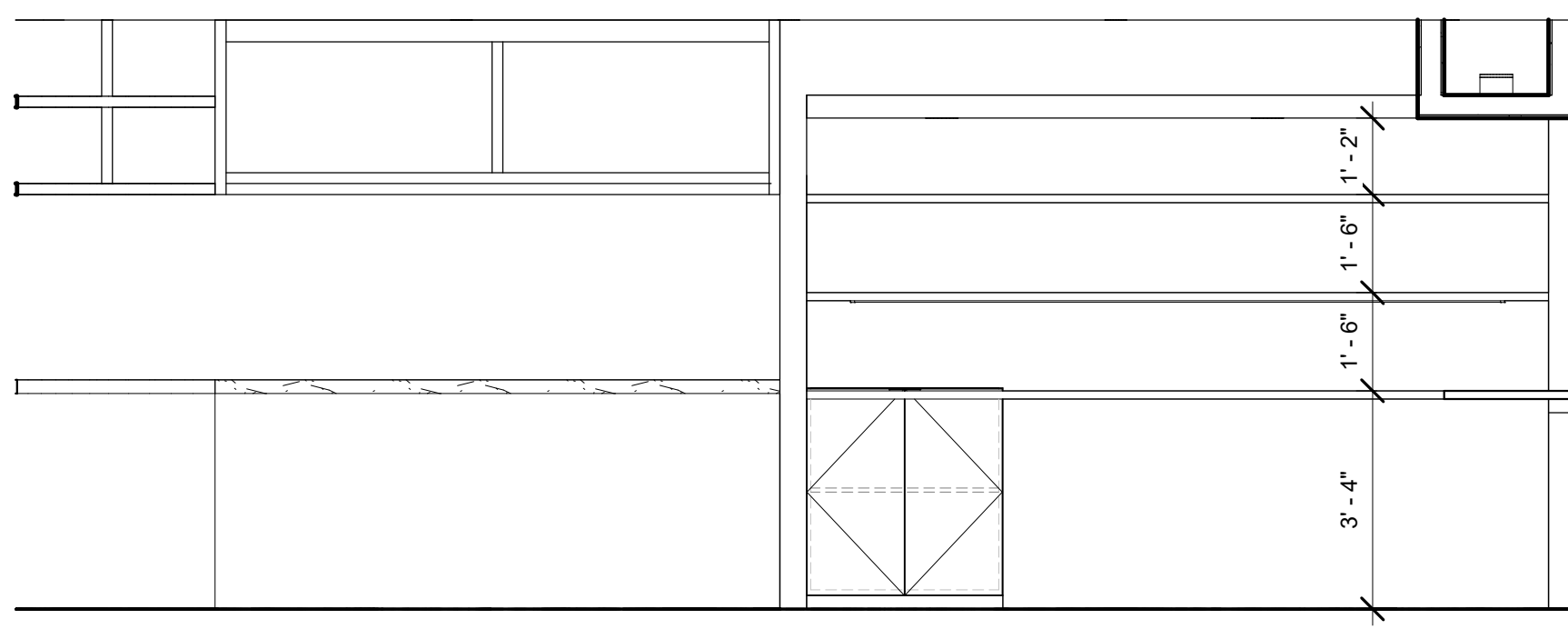
5 Elevation 26 - a
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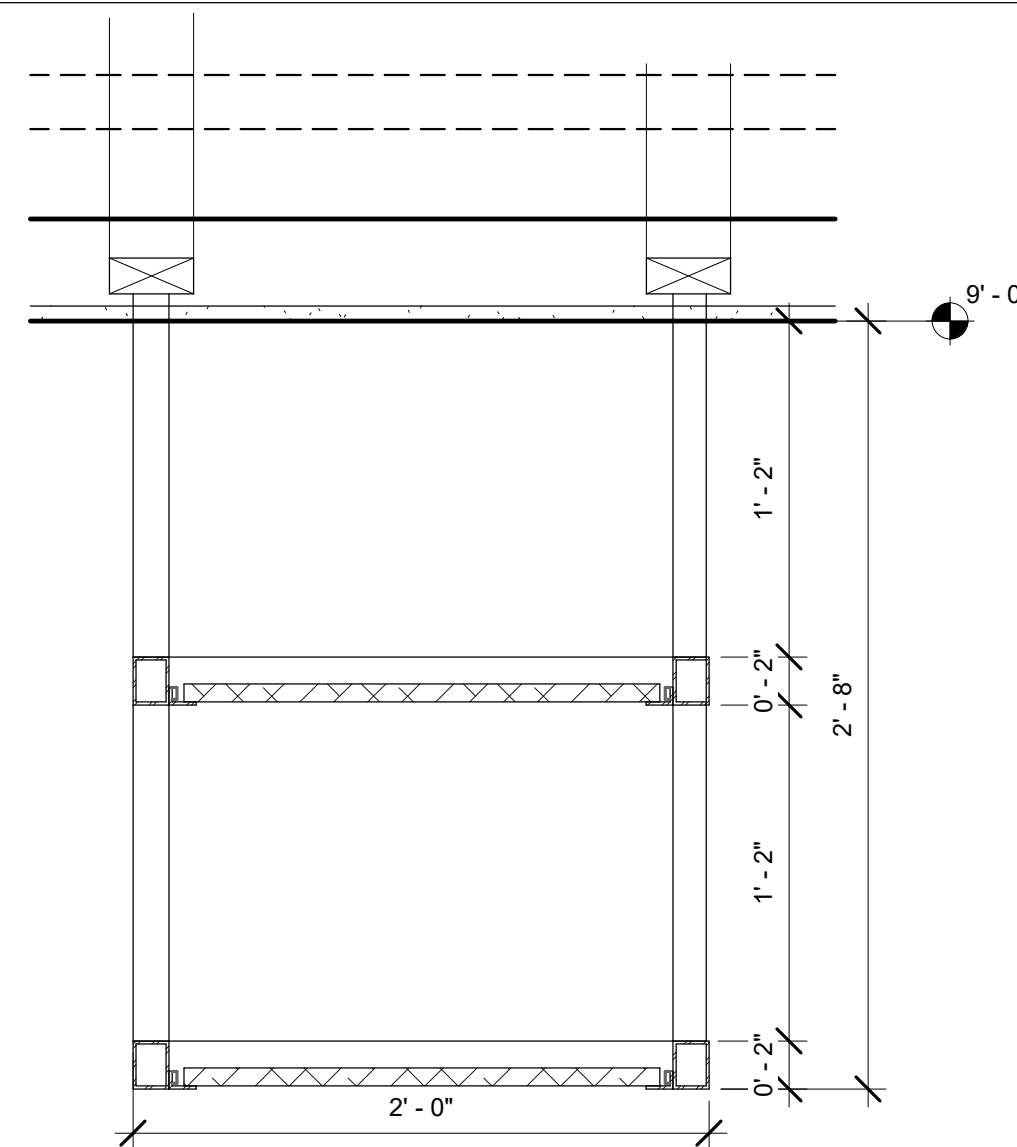
3 Elevation 1 - a
3/8" = 1'-0"



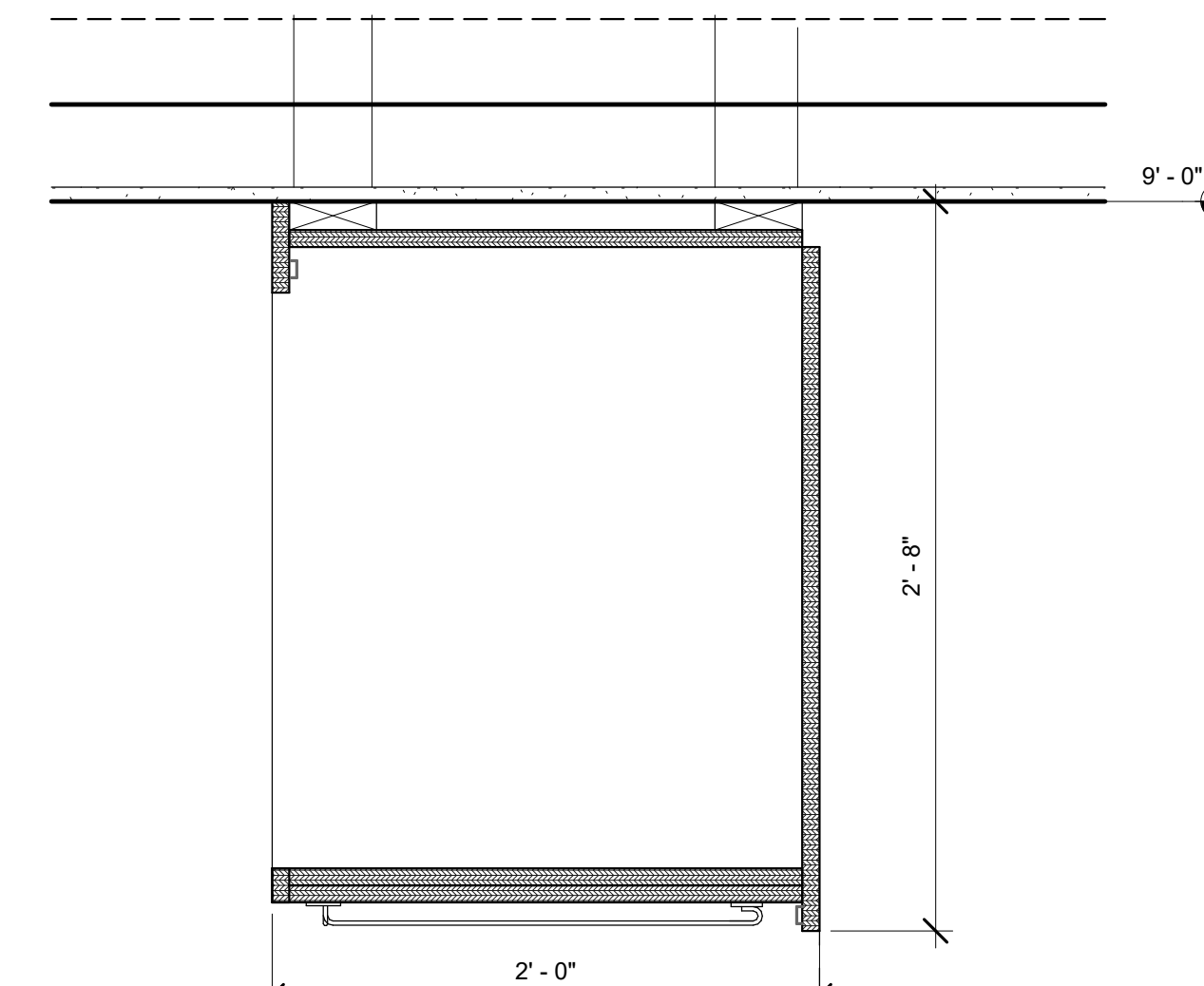
1 4 - a
3/8" = 1'-0"



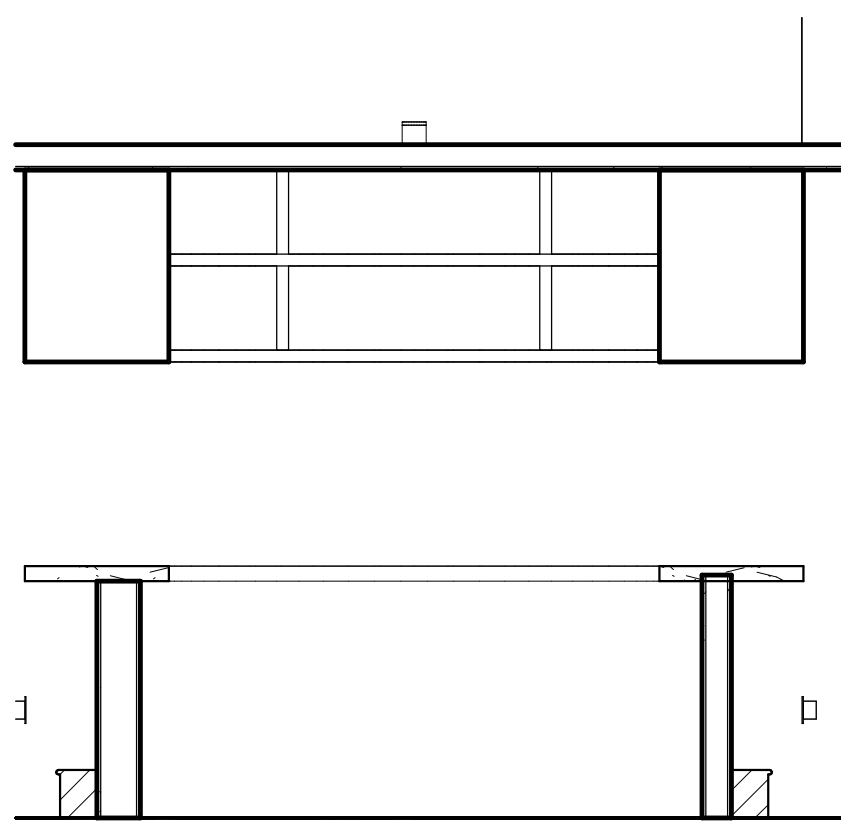
8 ELEVATION - BAR INTERIOR EAST
3/8" = 1'-0"



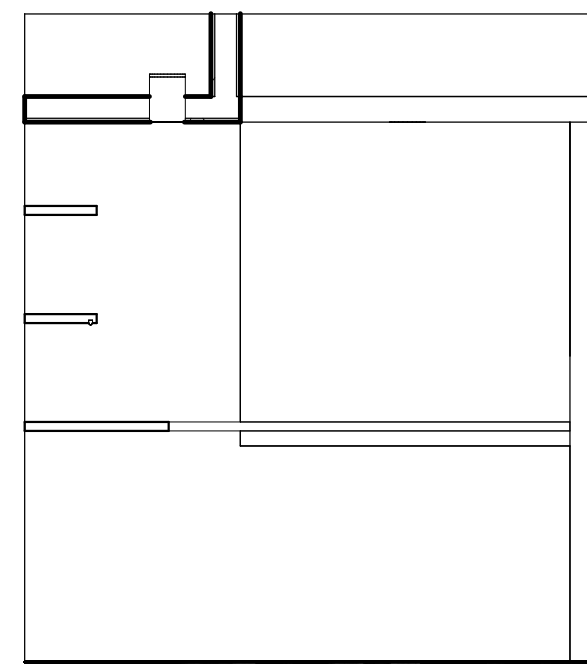
4 CEILING DETAIL - BAR DISPLAY
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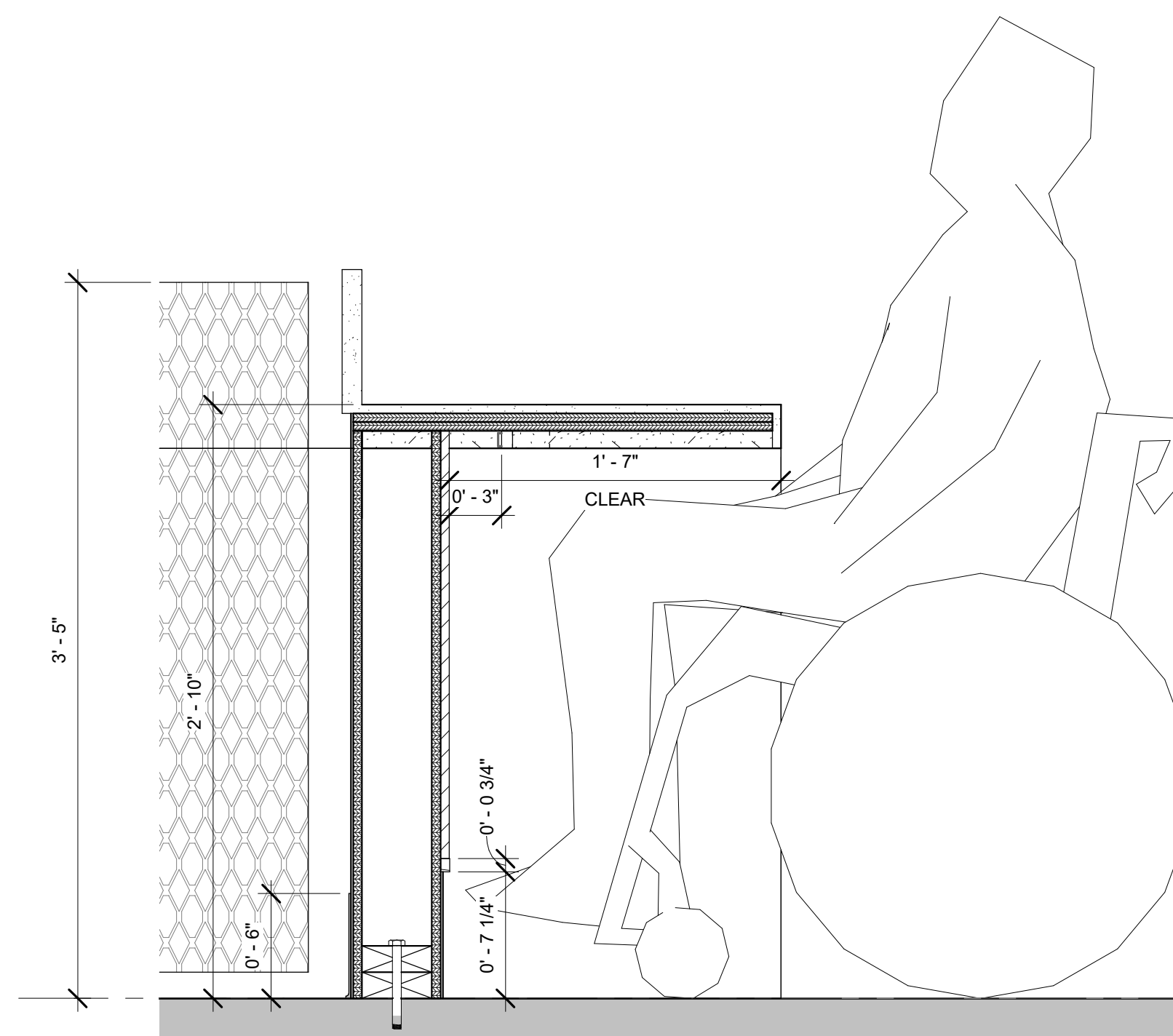
3 CEILING DETAIL - BAR STORAGE
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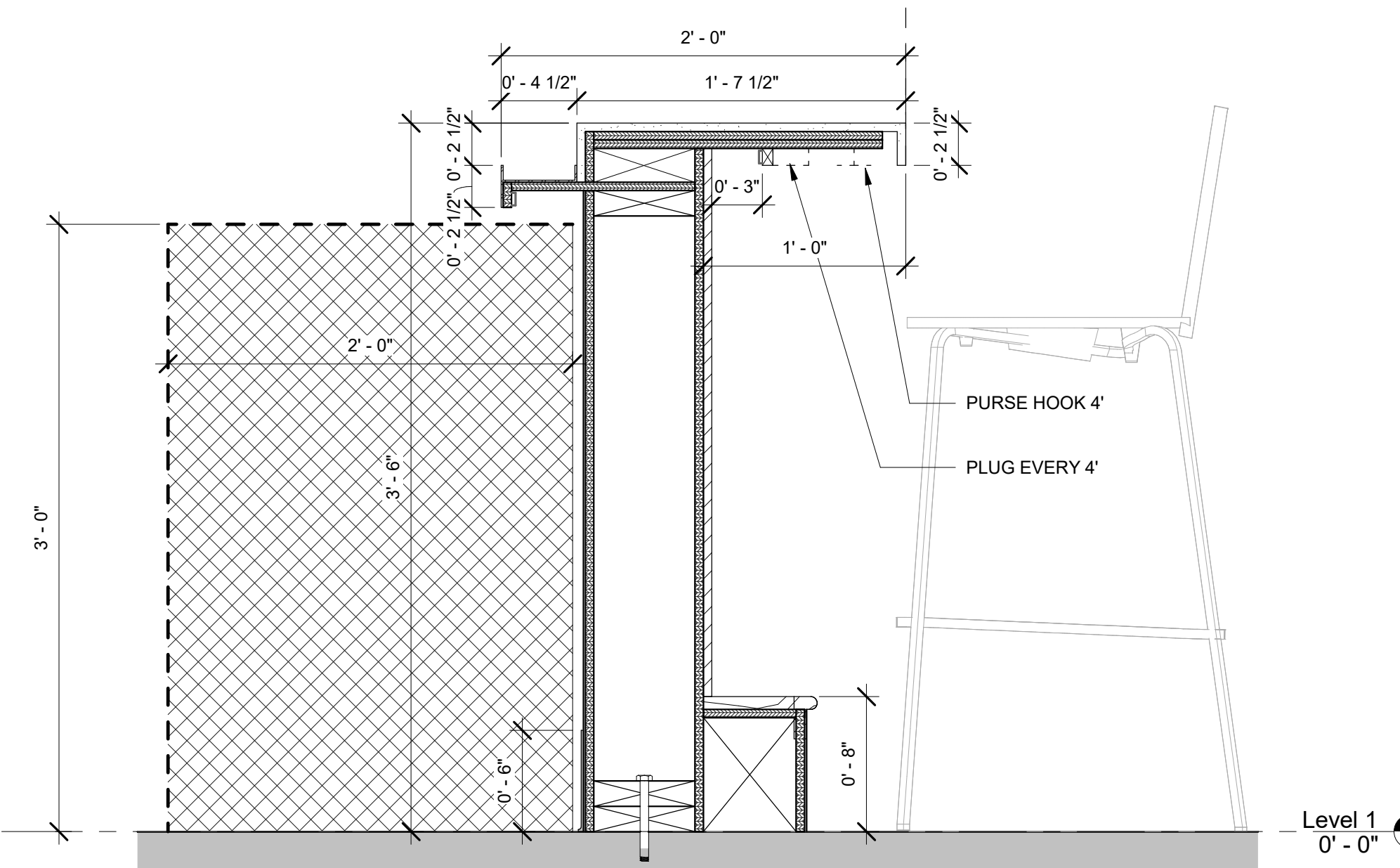
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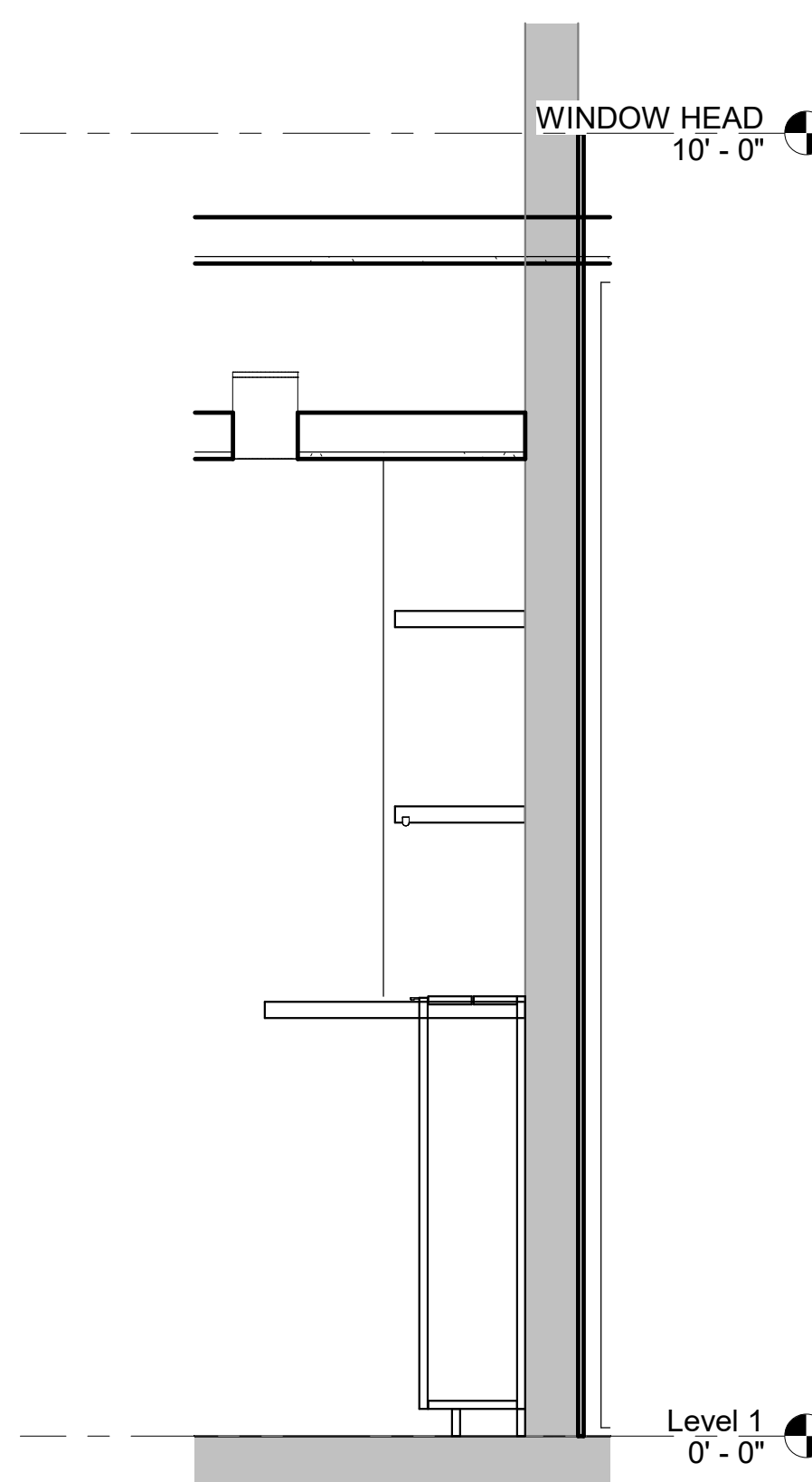
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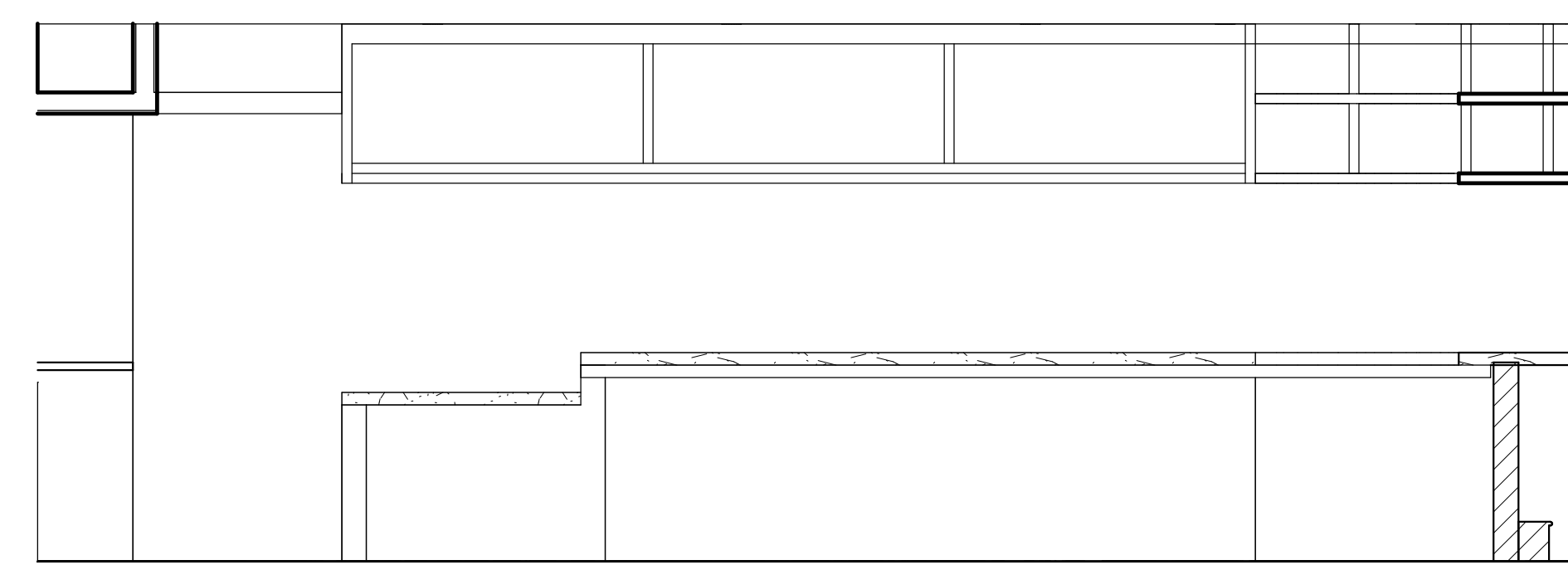
6 BAR SECTION ADA
1 1/2" = 1'-0"



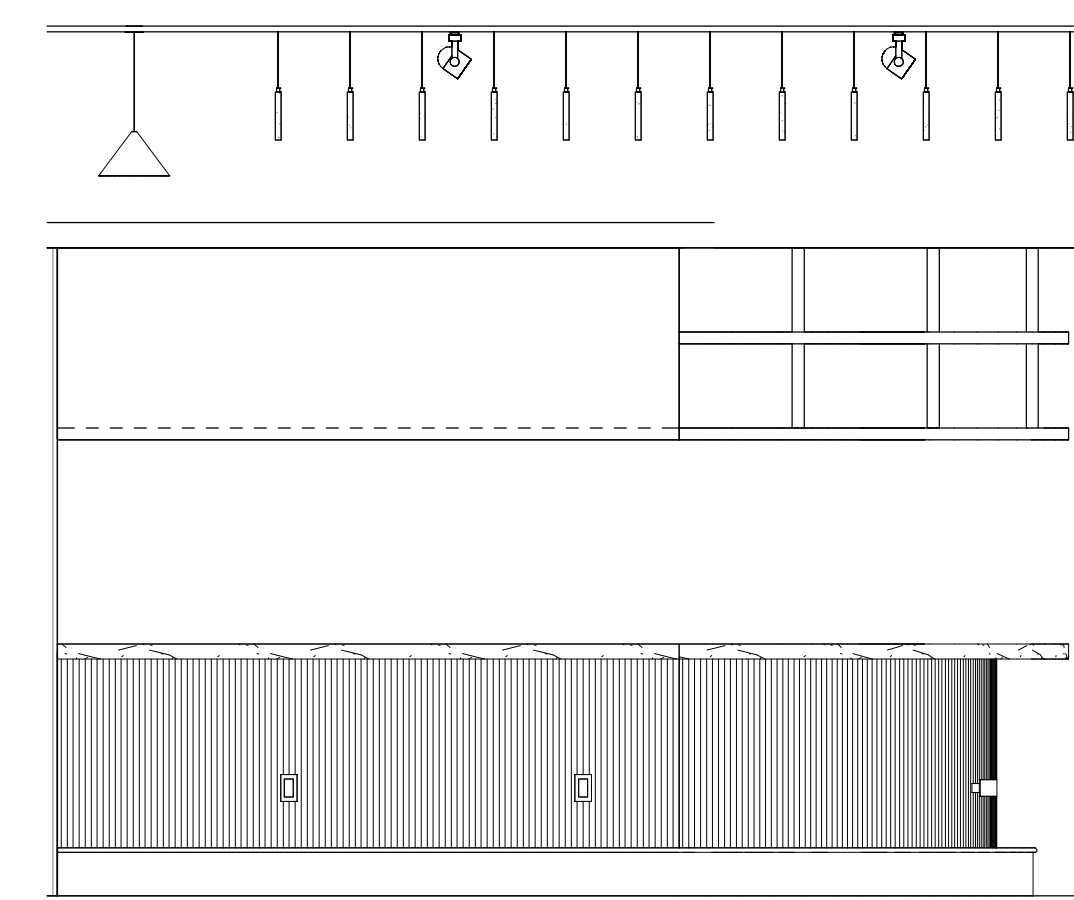
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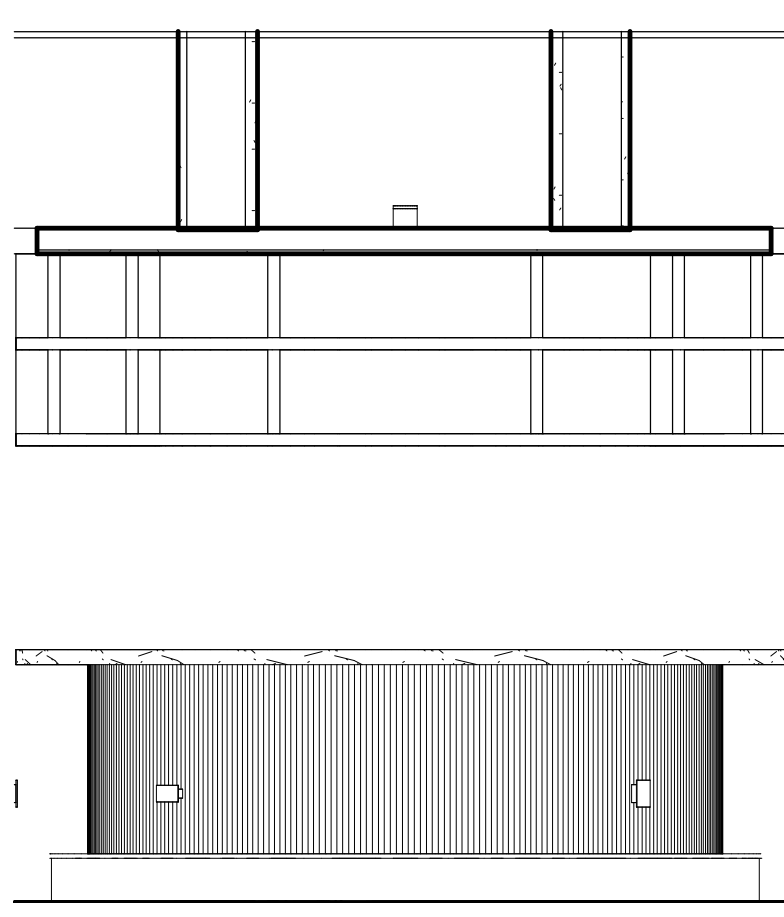
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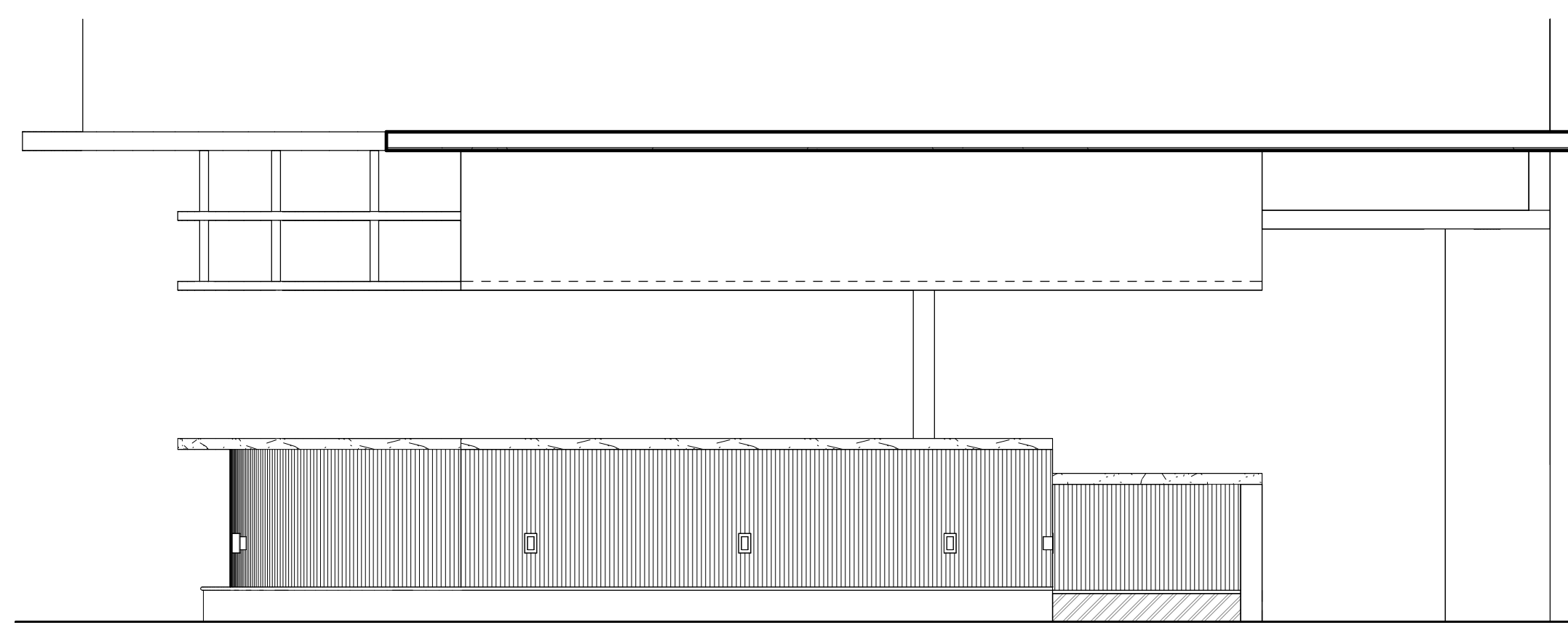
9 ELEVATION - BAR INTERIOR WEST
3/8" = 1'-0"



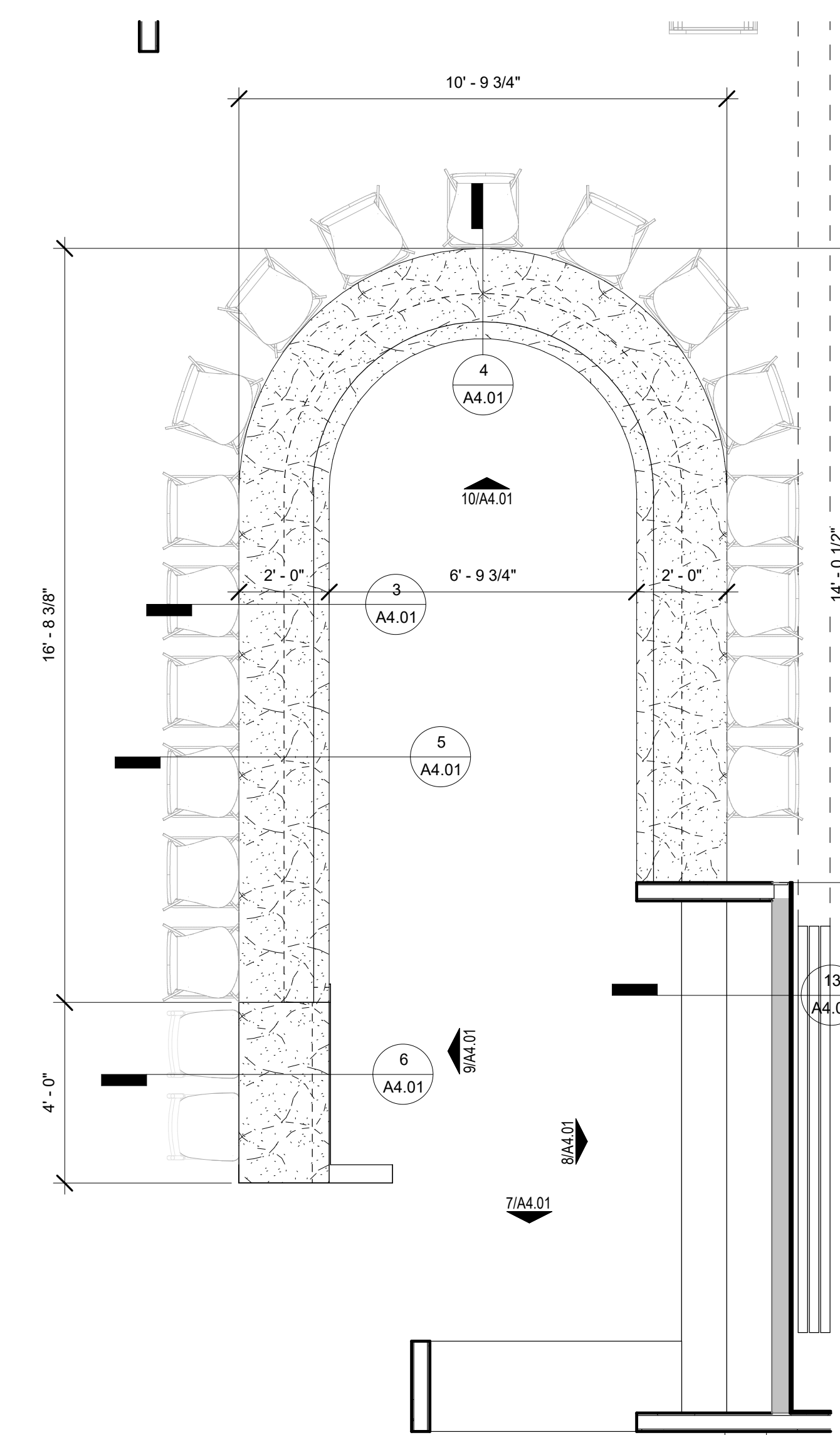
1 ELEVATION - BAR EXTERIOR EAST
3/8" = 1'-0"



12 ELEVATION - BAR EXTERIOR NORTH
3/8" = 1'-0"



11 ELEVATION - BAR EXTERIOR WEST
3/8" = 1'-0"



2 ENLARGED PLAN - BAR
3/8" = 1'-0"



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Issue Log

#	Date	Description
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Project Info

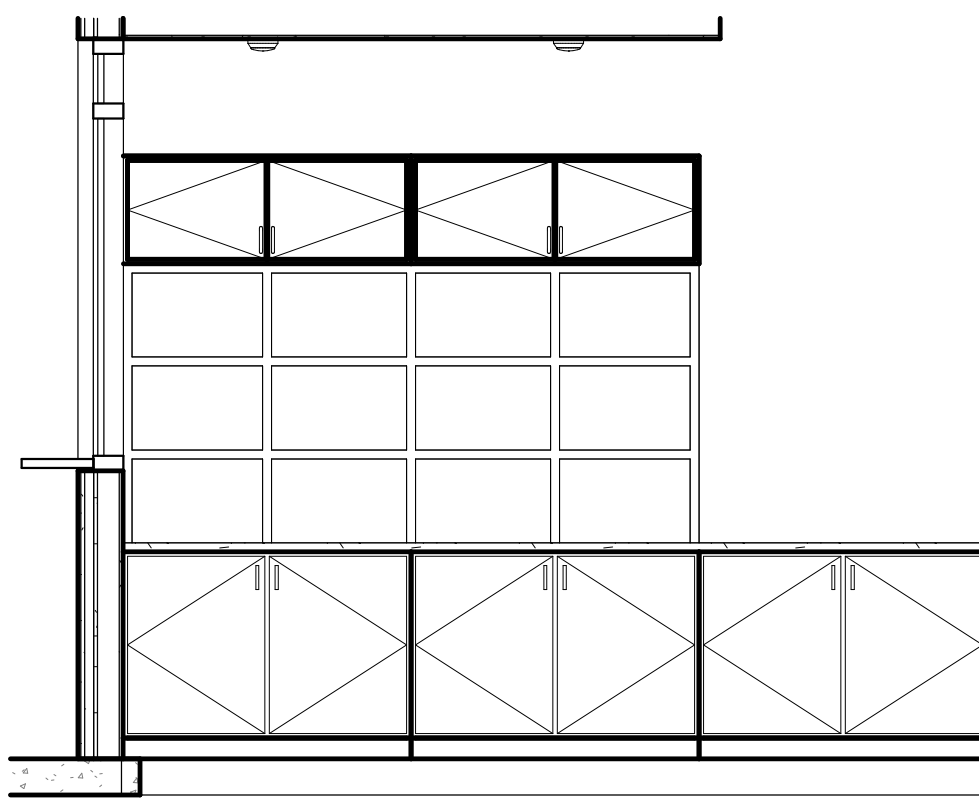
VINO & VINYL
15977 City Walk
Sugar Land, TX 77479

Sheet

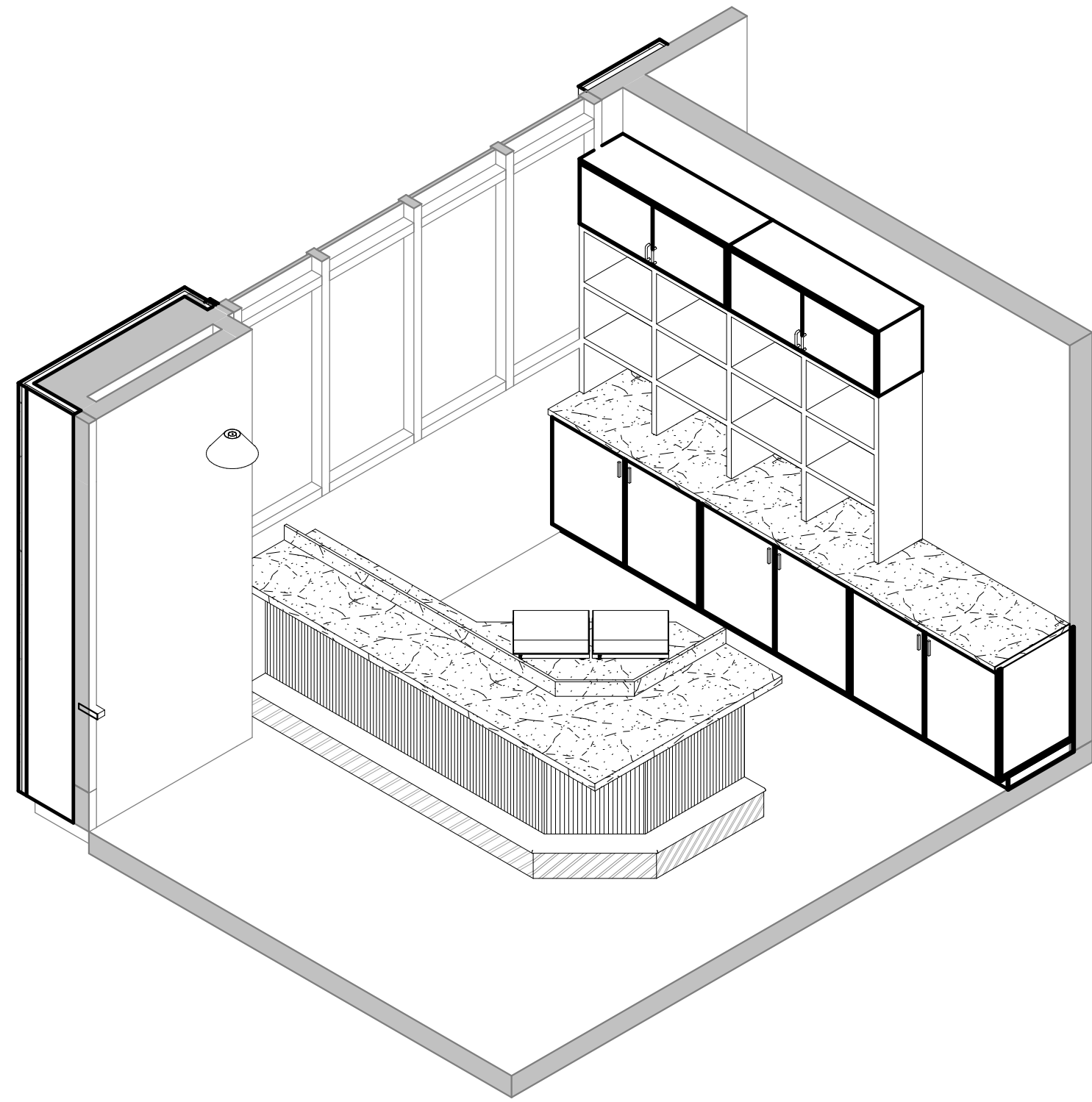
ENLARGED
PLANS

A4.02

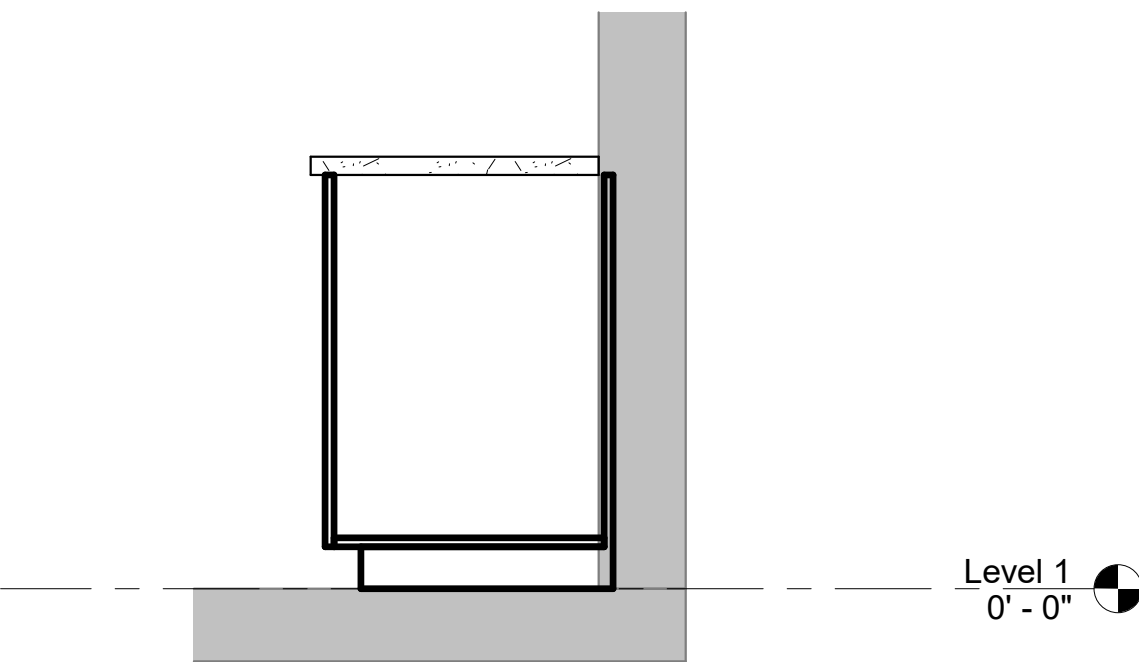
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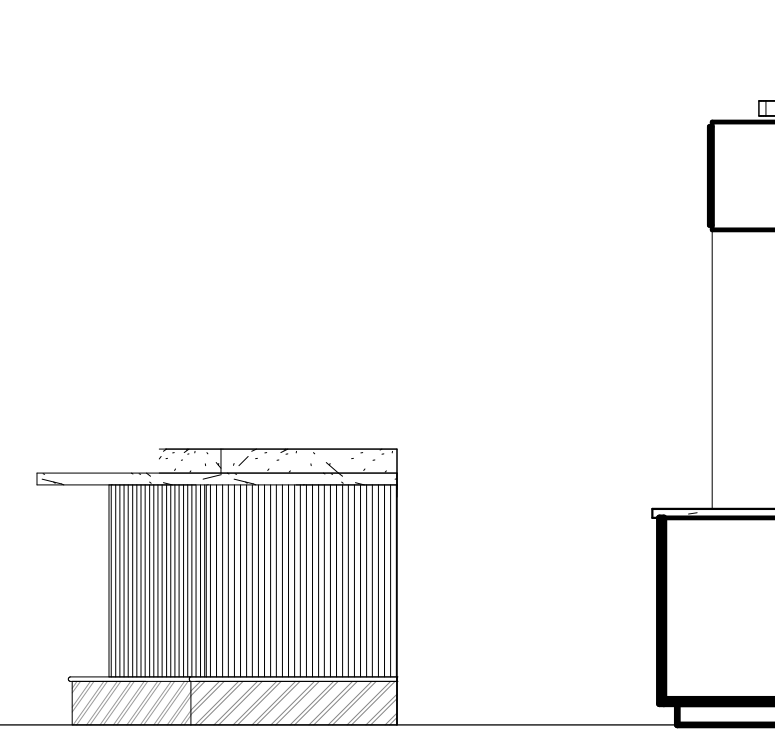
4 Elevation 32 - a
3/8" = 1'-0"



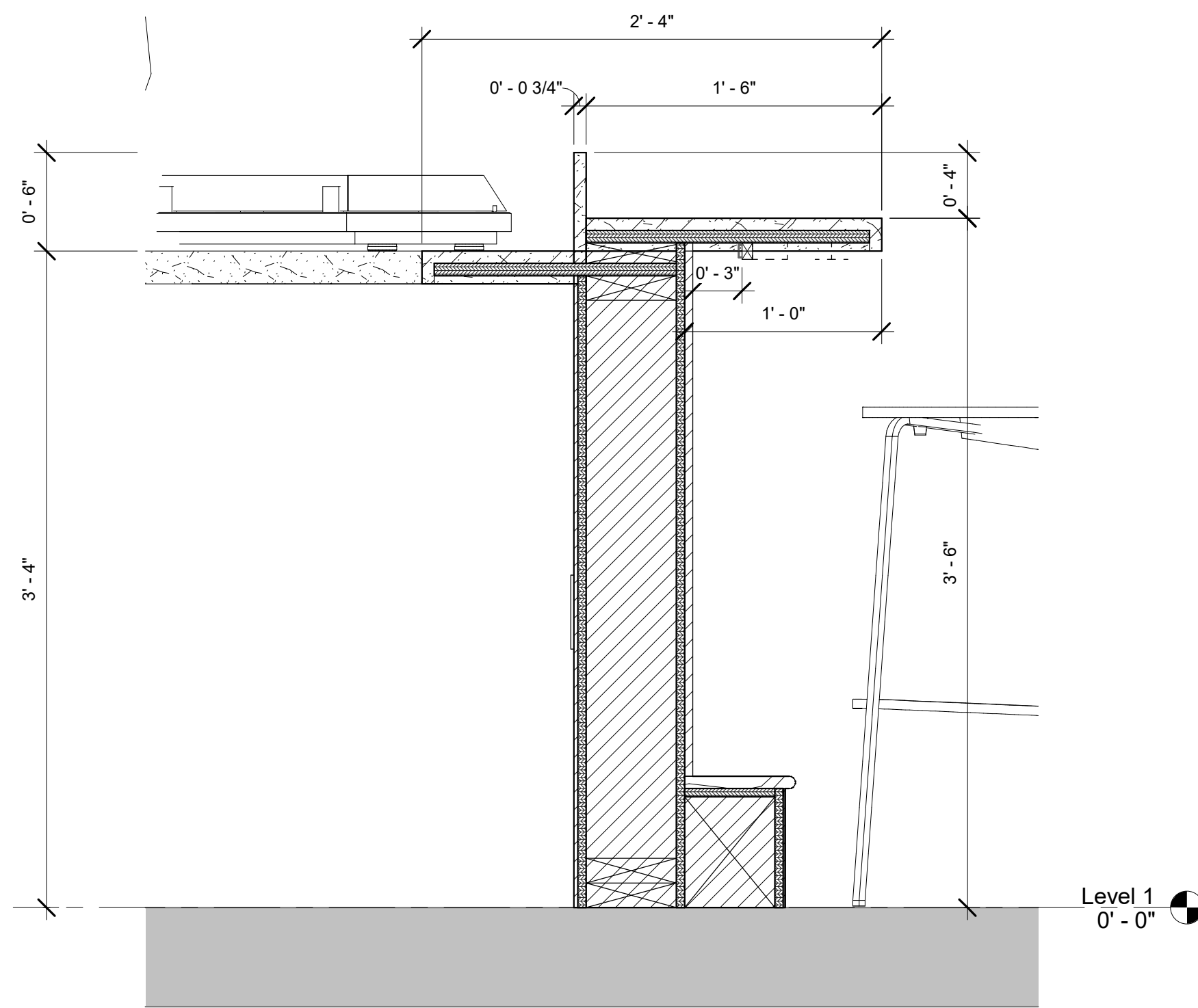
3 VINYL BAR - ISO



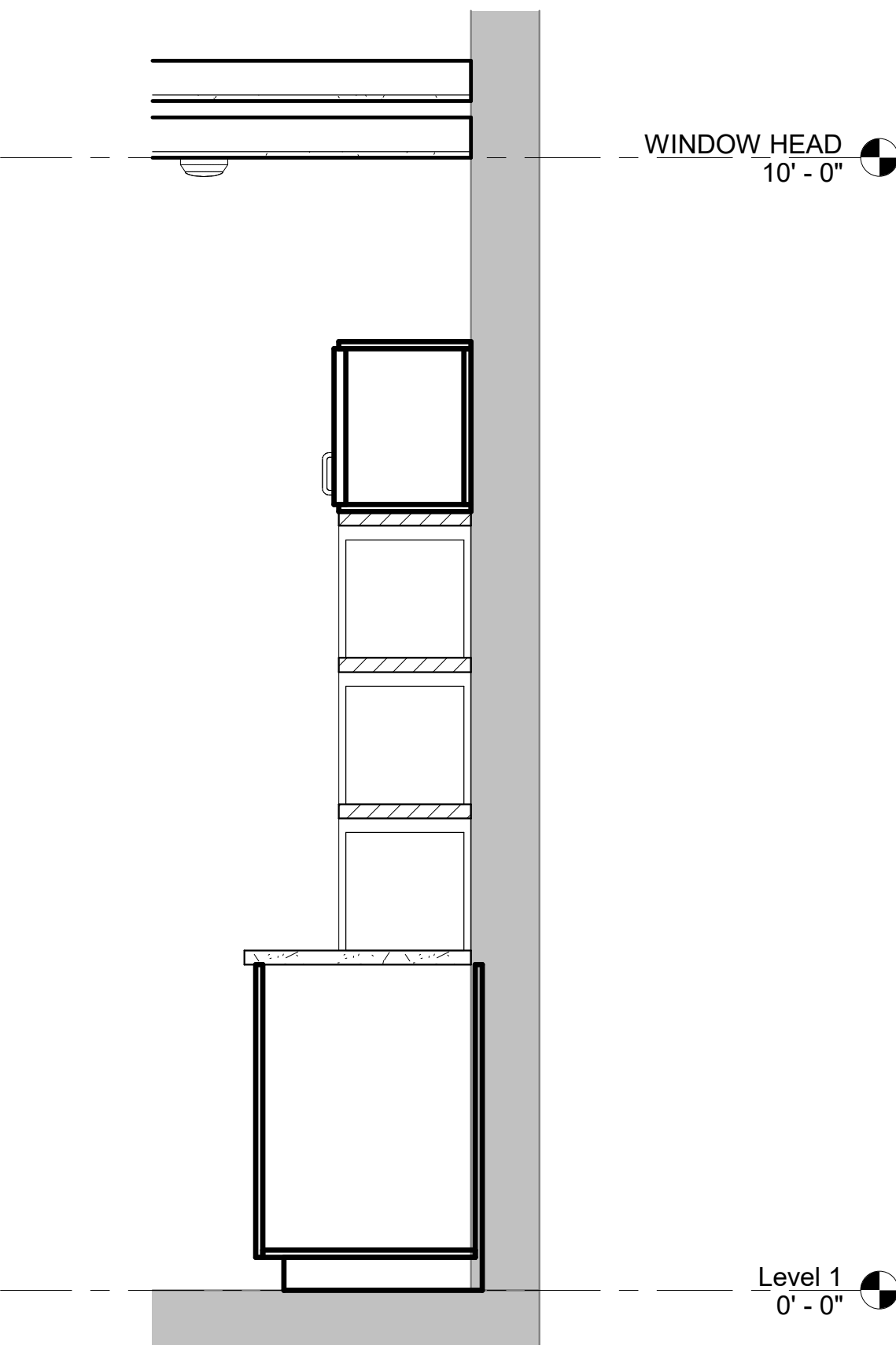
9 VINYL 2
3/4" = 1'-0"



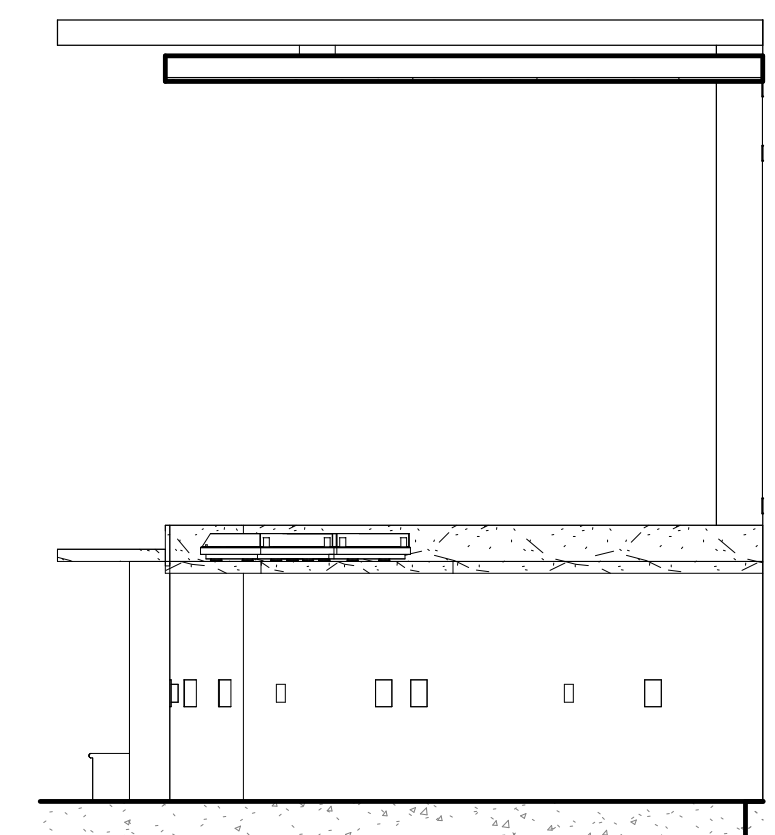
5 Elevation 33 - a
3/8" = 1'-0"



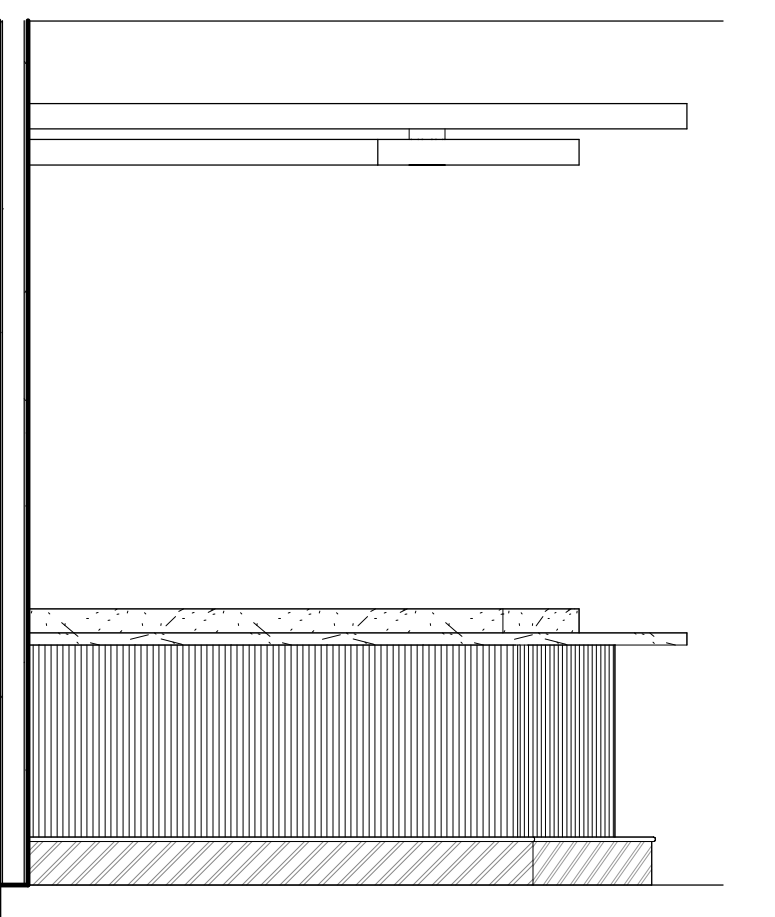
2 VINYL BAR SECTION
1 1/2" = 1'-0"



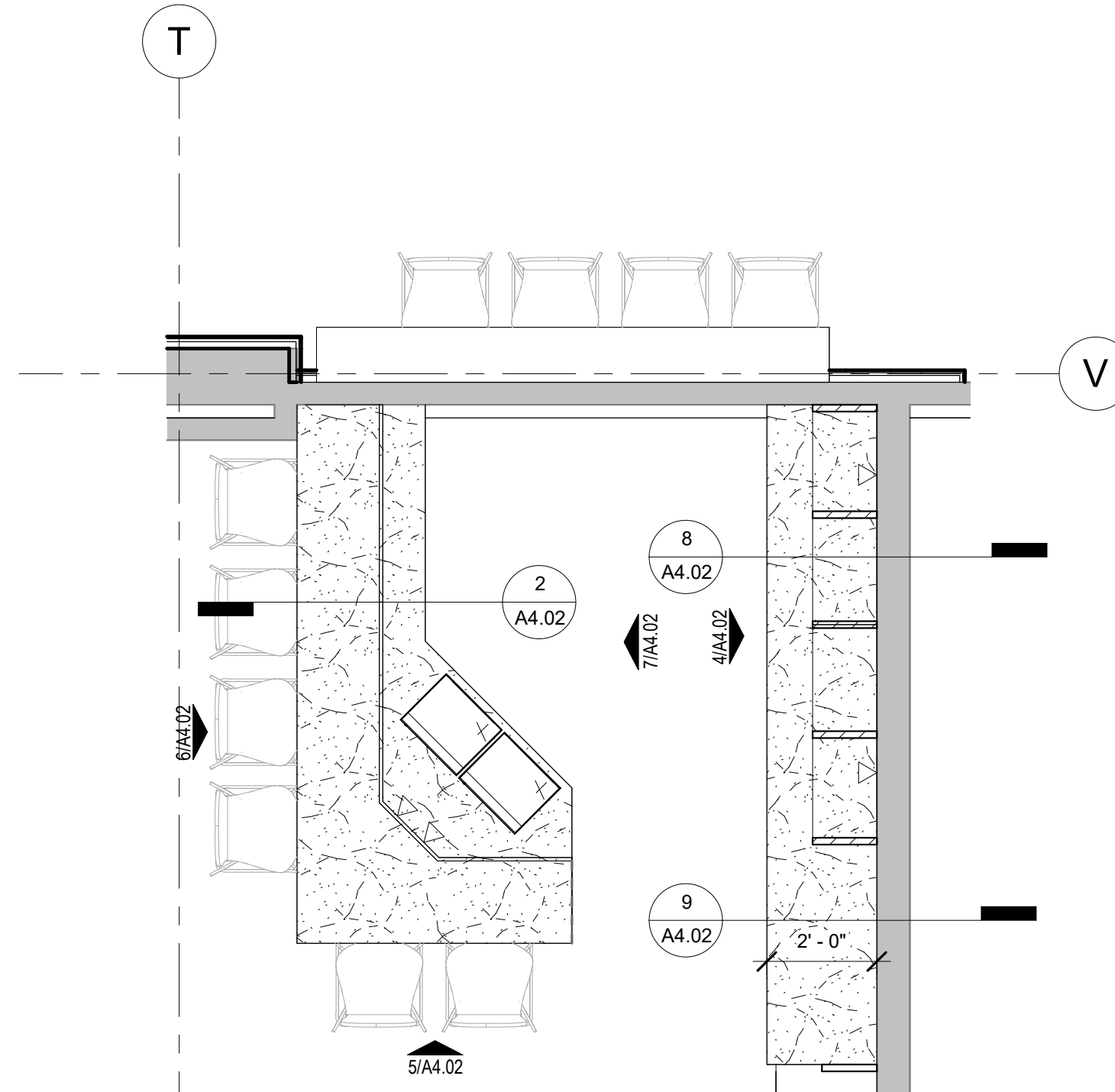
8 VINYL 1
3/4" = 1'-0"



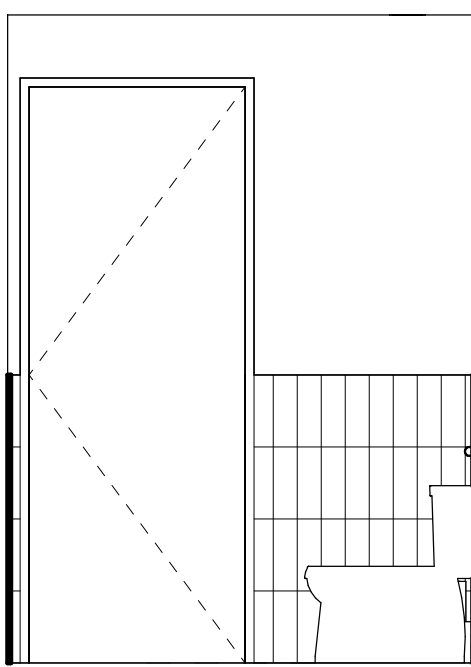
7 Elevation 35 - a
3/8" = 1'-0"



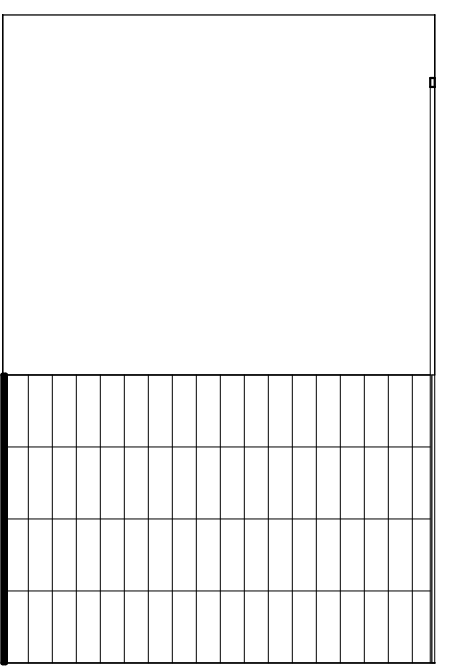
6 Elevation 34 - a
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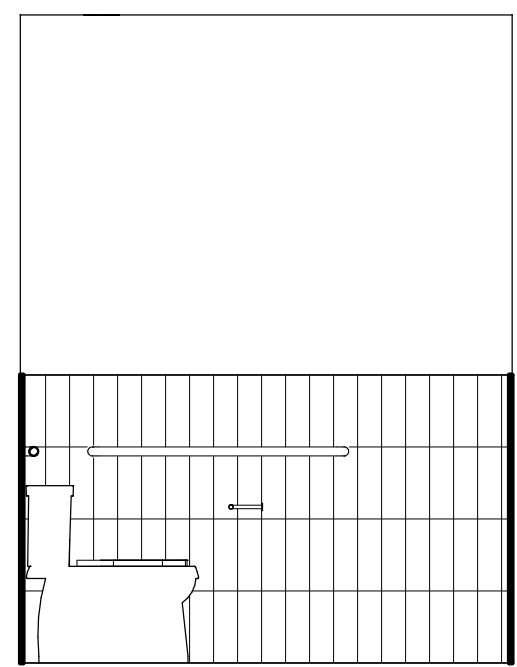
1 ENLARGED PLAN - VINYL
3/8" = 1'-0"



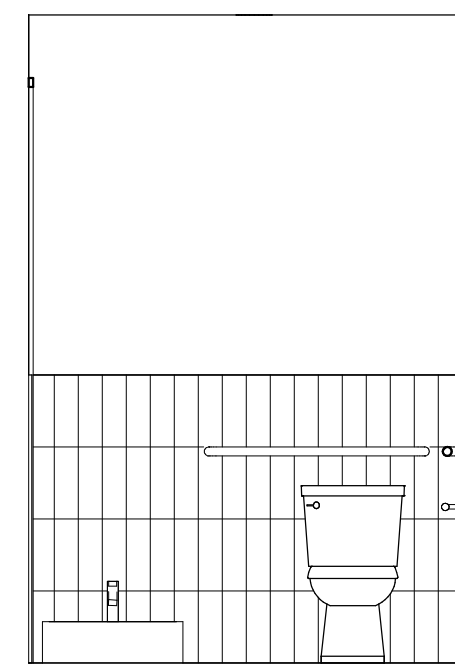
21 Elevation 31 - a
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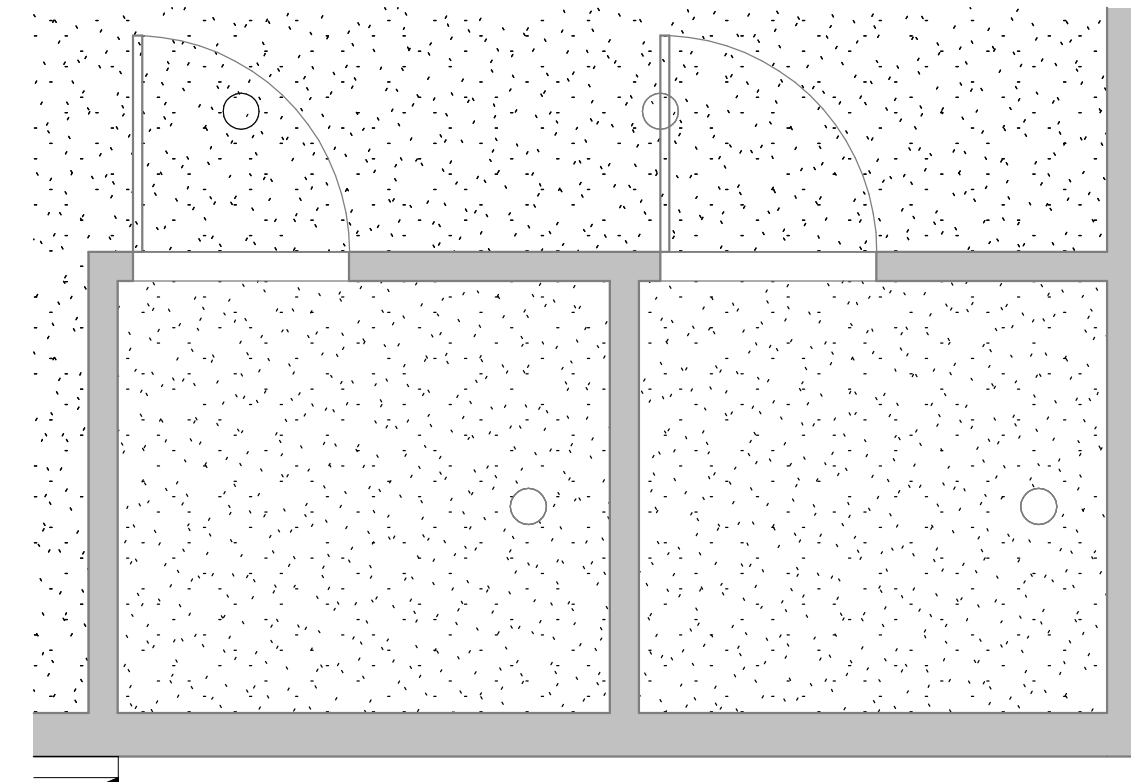
20 Elevation 30 - d
3/8" = 1'-0"



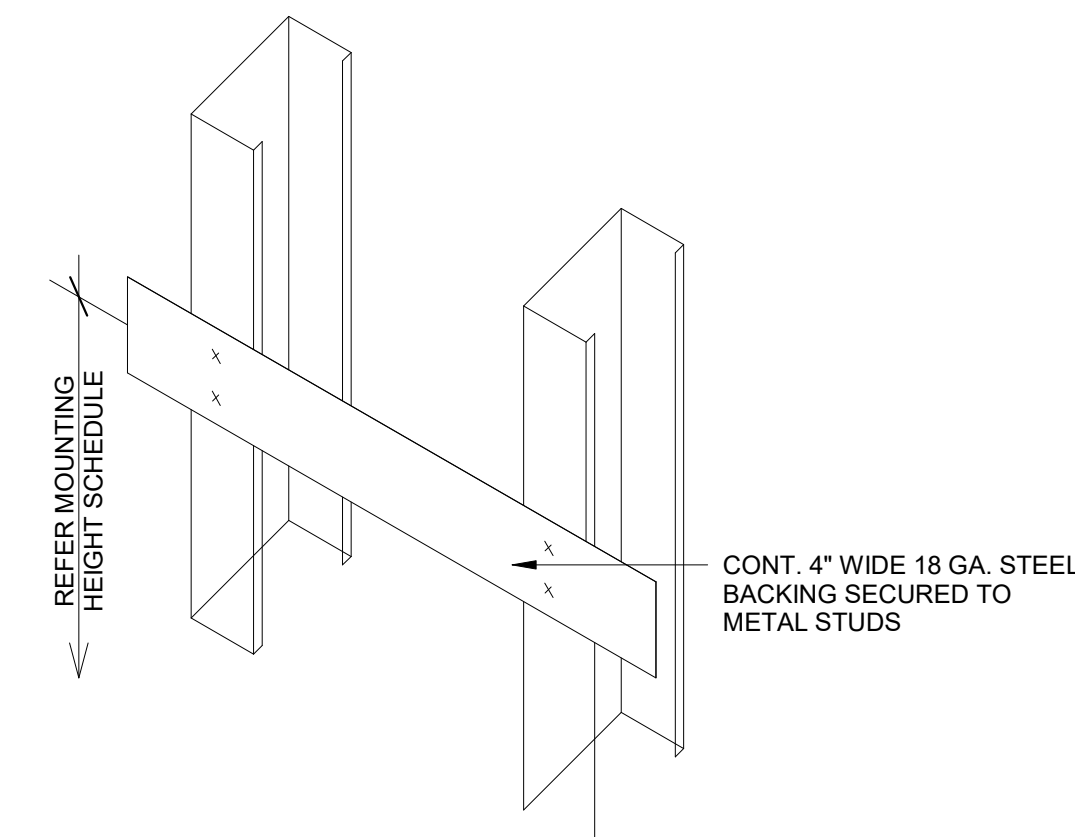
19 Elevation 30 - c
3/8" = 1'-0"



18 Elevation 30 - b
3/8" = 1'-0"



4 Level 1 - Reflected Ceiling Plan - Callout 2
3/8" = 1'-0"



13 ACCESSORY WALL BLOCKING
1 1/2" = 1'-0"

TOILET ACCESSORIES

SYMBOLS

ACCESSORY TYPE

SCHEDULE

TA.1 - 42" - ADA GRAB BAR
BOBRICK - B-9806.MBLK.FINO COLLECTION

TA.2 - 36" - ADA GRAB BAR
BOBRICK - B-9806.MBLK.FINO COLLECTION

TA.3 - TOILET PAPER DISPENSER
BOBRICK - B-540.MBLK.SURFACE-MOUNTED TOILET
TISSUE

TA.4 - HOOK
NAMEEKS - NNB0028 - LUXURY HOTEL MATTE
BLACK

TA.5 - MIRROR
20"x30" VERTICAL MIRROR
REJUVENATION
ROUNDED RECTANGLE METAL FRAMED MIRROR
AGED BRASS - SKU: 7631470

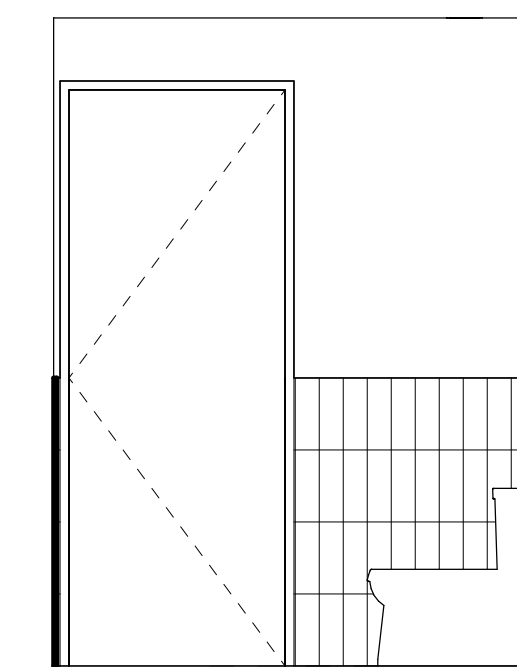
PF.1 - SINK
WALL MOUNTED SINK AND FAUCET
BASEN: ADA COMPLIANT
WS BATH COLLECTIONS
UNLIMITED 60.01 GLOSSY WHITE, WITH WSBC53991
FAUCET: MOEN, MEENA - 84794BZG BRONZED
GOLD, 1.2 GPM
KNEE SHIELD: CUSTOM METAL
FABRICATION OVER P-TRAP

PF.2 - TOILET
AMERICAN STANDARD TANK FLOOR MOUNTED
TOILET VITRIOUS ADA

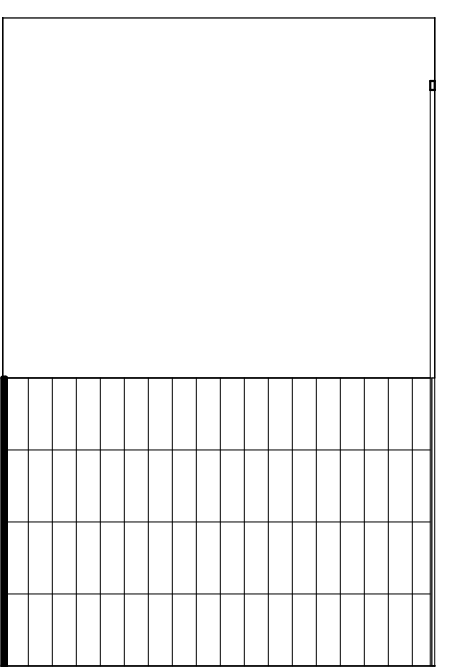
RESTROOM FINISH NOTE:

ALL RESTROOM PARTITION WALLS TO BE BUILT FROM NON-
ABSORPTIVE MATERIALS. PROVIDE MOISTURE RESISTANT
GYPSUM BOARD FOR ALL PAINTED SURFACES, AND CONCRETE
TILE BACKERBOARD BEHIND TILE APPLICATION.

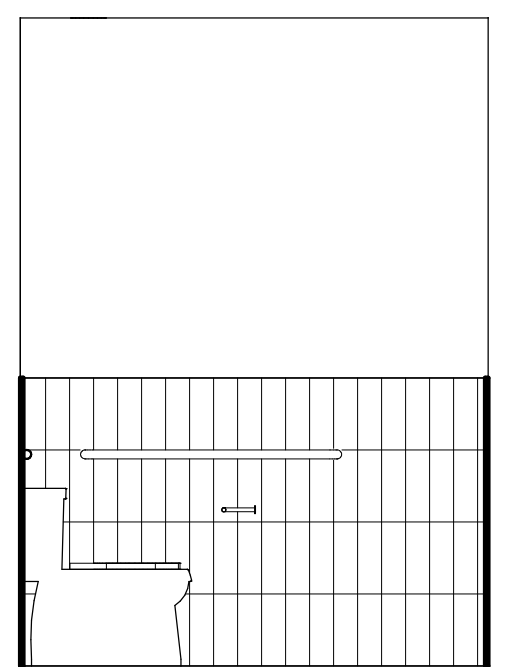
INSTALL
INSTALL IN ACCORDANCE WITH APPROVED SHOP DRAWINGS
AND MANUFACTURER'S INSTRUCTIONS.
ADJUST AND ALIGN HARDWARE TO UNIFORM CLEARANCE AT
VERTICAL EDGE OF DOORS.
PROTECT INSTALLED PRODUCTS UNTIL COMPLETION OF
PROJECT



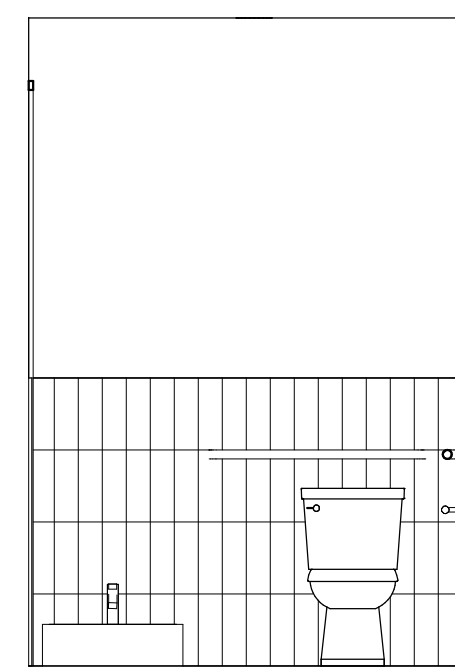
17 Elevation 30 - a
3/8" = 1'-0"



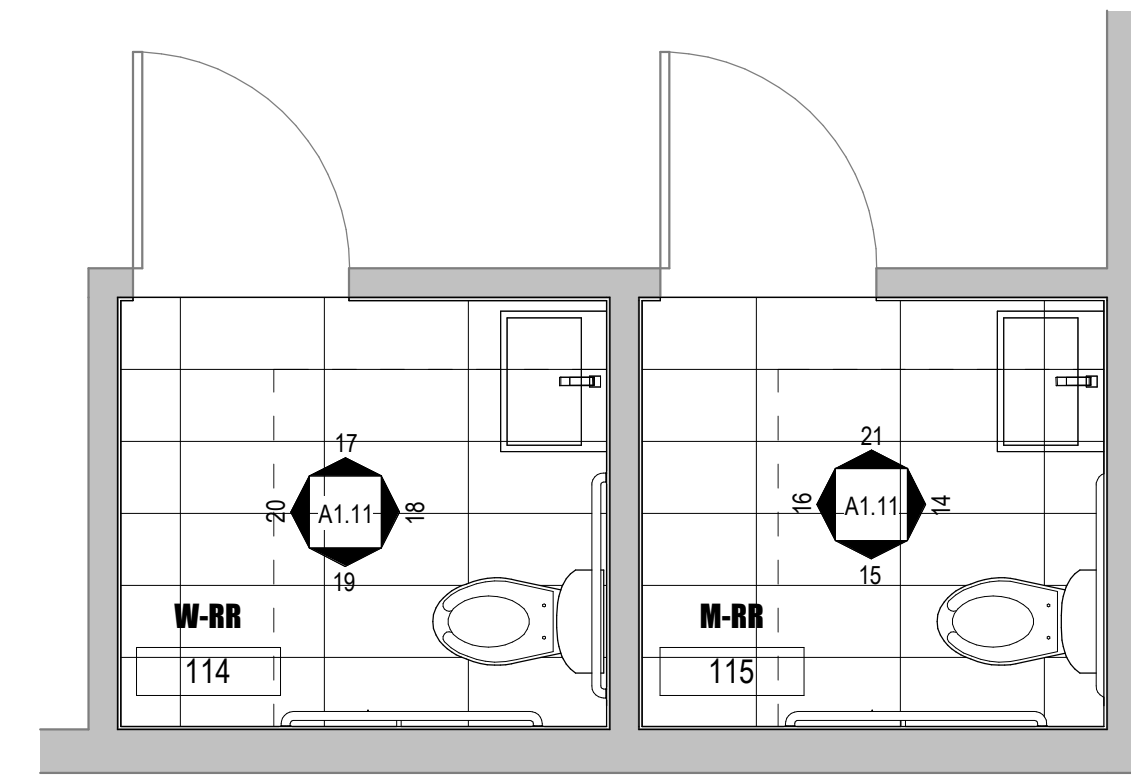
16 Elevation 29 - d
3/8" = 1'-0"



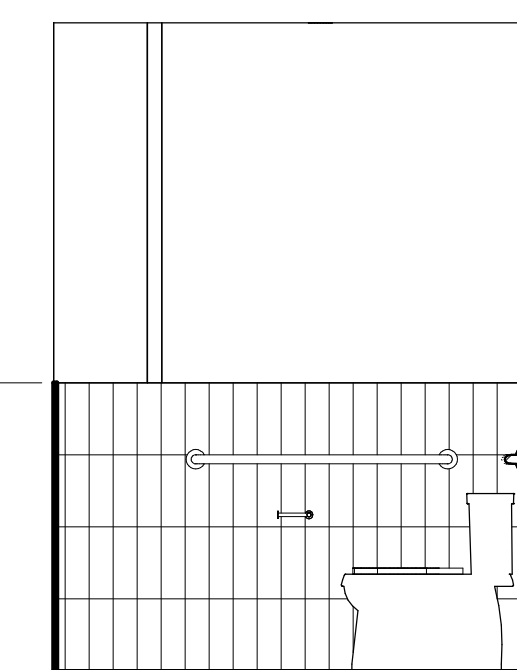
15 Elevation 29 - c
3/8" = 1'-0"



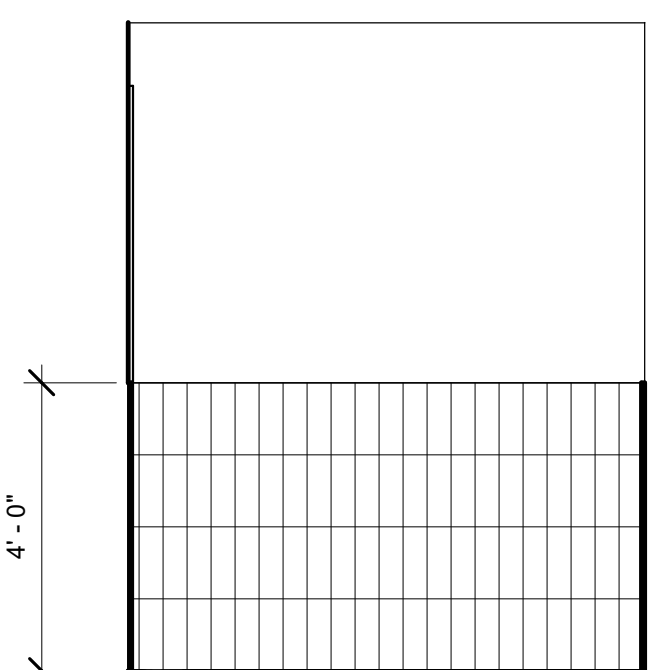
14 Elevation 29 - b
3/8" = 1'-0"



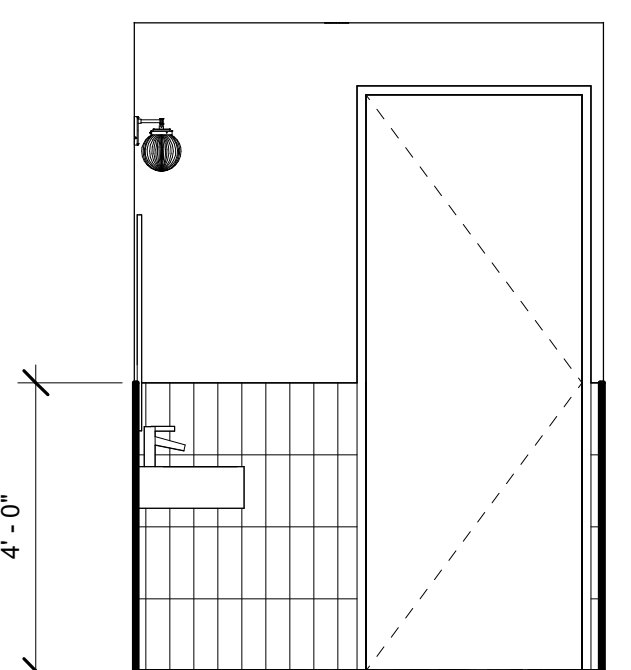
1 RESTROOM
3/8" = 1'-0"



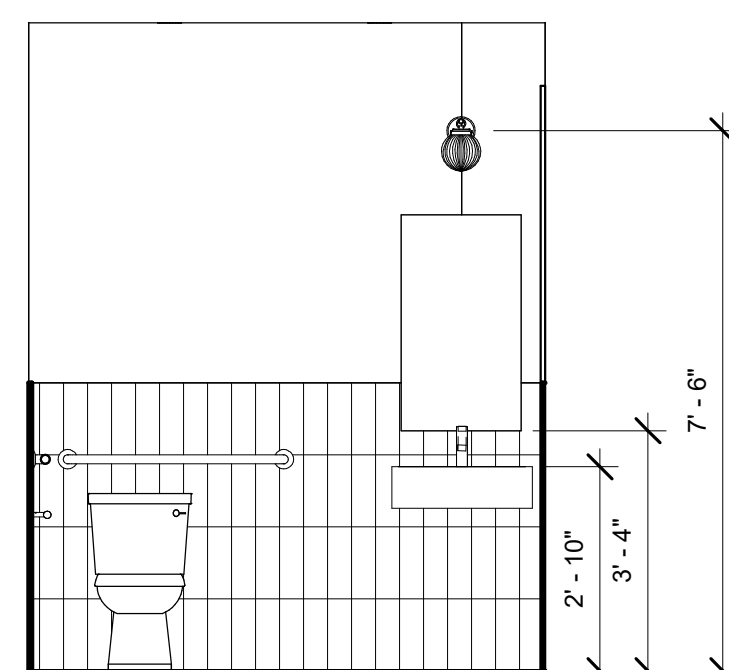
12 Elevation 28 - d
3/8" = 1'-0"



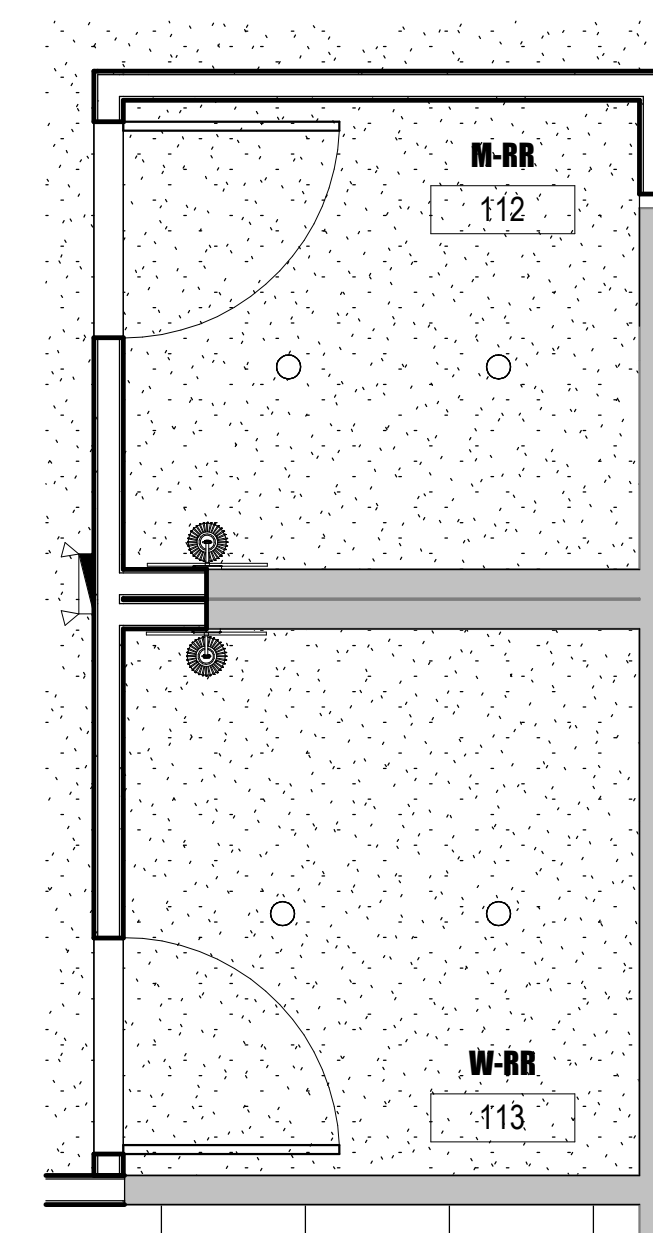
11 Elevation 28 - c
3/8" = 1'-0"



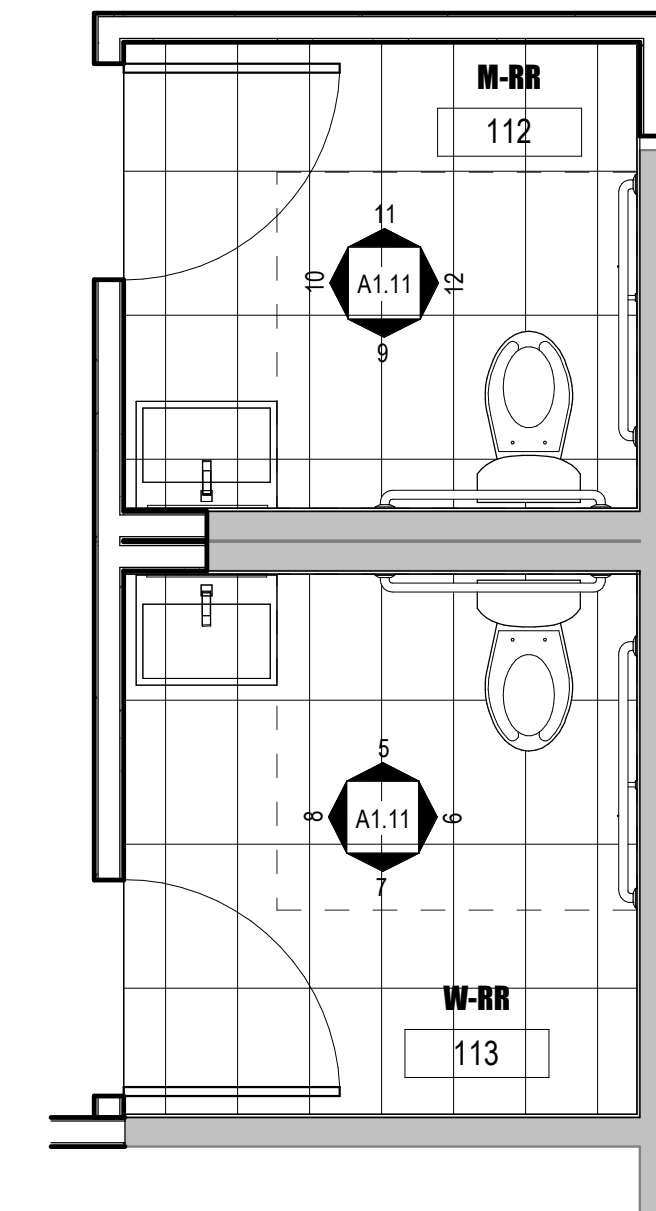
10 Elevation 28 - b
3/8" = 1'-0"



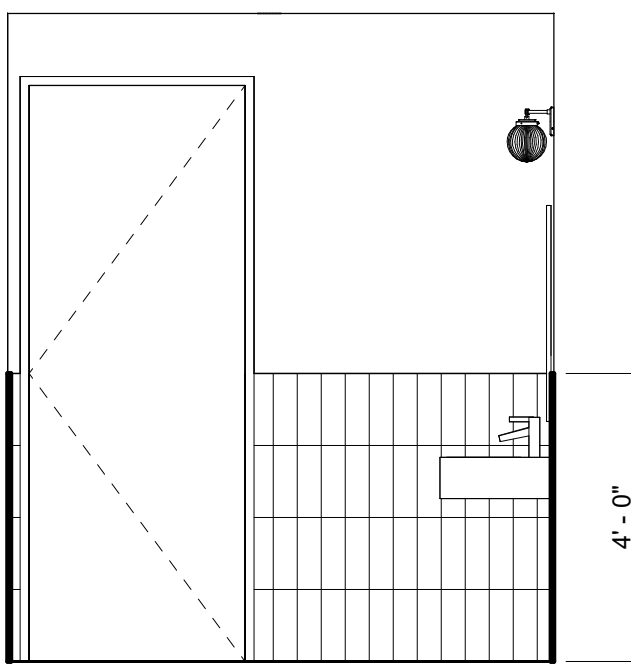
9 Elevation 28 - a
3/8" = 1'-0"



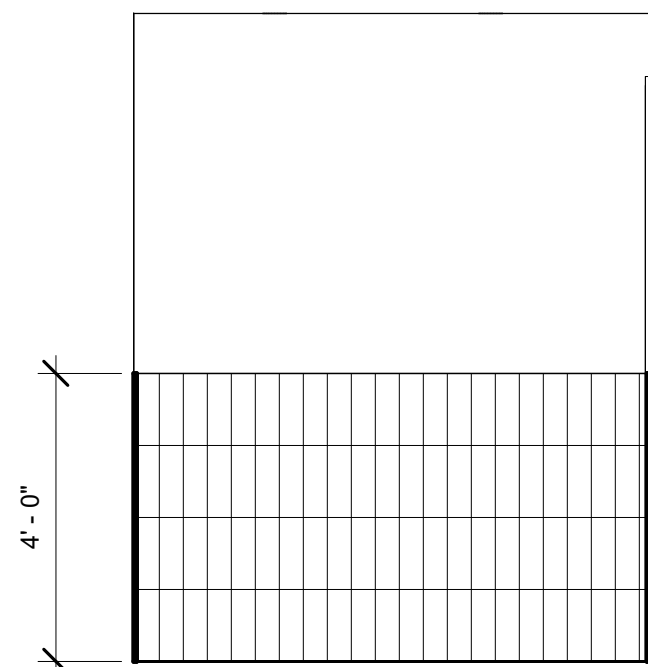
3 Level 1 - Reflected Ceiling Plan - Callout 1
3/8" = 1'-0"



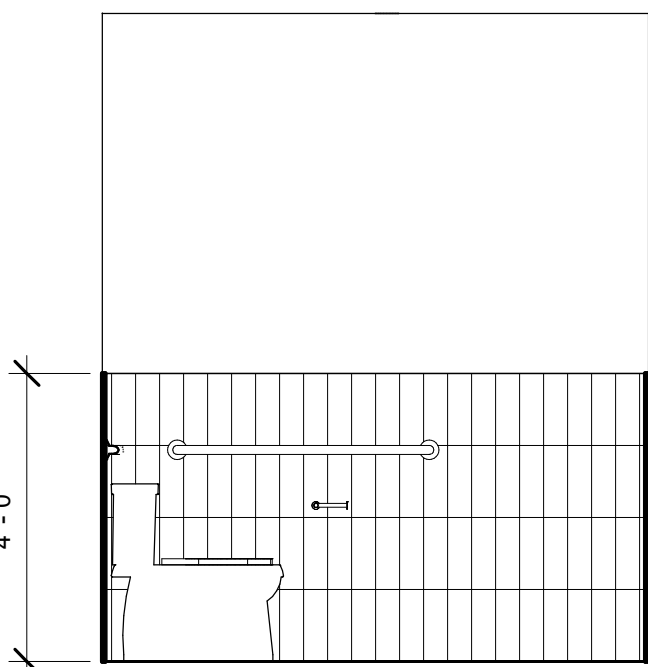
2 Level 1 - Floor Plan - Callout 5
3/8" = 1'-0"



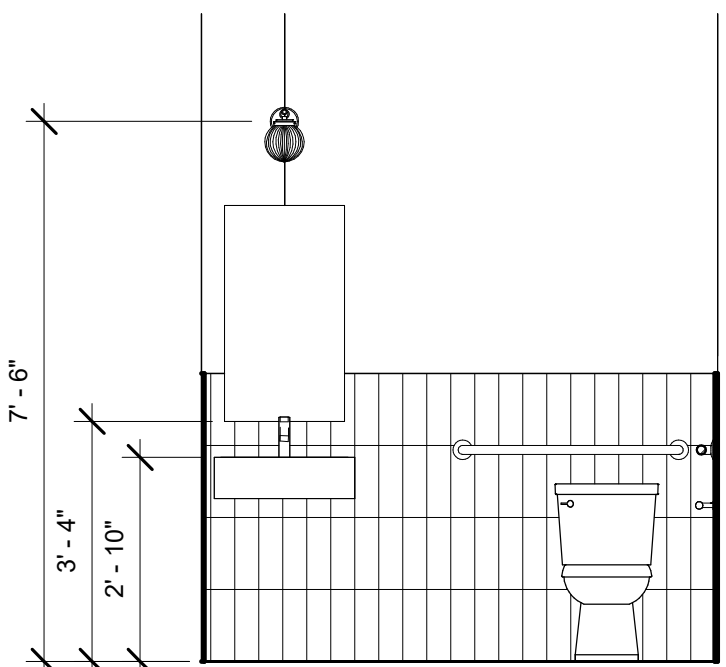
8 Elevation 27 - d
3/8" = 1'-0"



7 Elevation 27 - c
3/8" = 1'-0"



6 Elevation 27 - b
3/8" = 1'-0"



5 Elevation 27 - a
3/8" = 1'-0"

REGIONAL DEVELOPMENT CORP.

11615 Foxburo Dr.
Houston, TX 77065-2808
karen@rdc-houston.com
713-249-4099

PRELIMINARY ESTIMATE

Date	Estimate #
3/30/2026	20260330

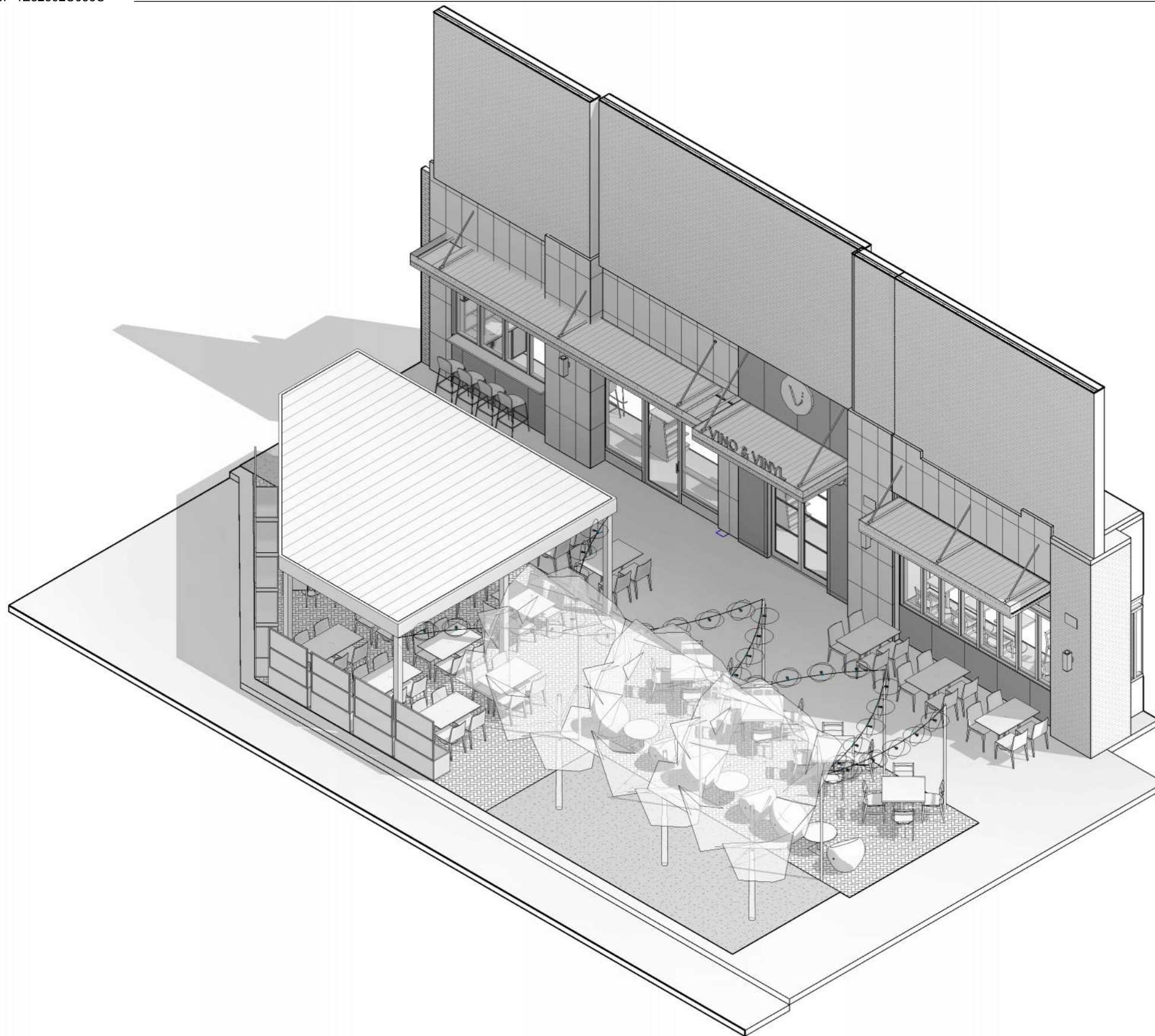
Name / Address
VINO & VINYL 15977 CITY WALK SUGARLAND, TX 77479

PROJECT
15977 SPACES A & B

Description	Total
15977 SPACE A REMODEL, including: INTERIOR REMODEL DEMISER & CEILING D.J. - AS IS WINE DISPLAYS & LOCKERS - ALLOWANCE \$20,000 LOUNGE FLOOR & HALLS - \$5/SF ALLOWANCE \$20,000 36 BEAMS NOT INCLUDED HOOD, WALK-IN & KITCHEN EQUIPMENT & KITCHEN REMODEL	110,000.00T
15977 SPACE B REMODEL, including: ELECTRICAL SERVICE & IMPROVEMENTS BAR PLUMBING MODIFY AC DUCTS MODIFY SPRINKLER ENLARGE ONE ADA RESTROOM NOT INCLUDED: FIRE ALARM, SIGNAGE, DATA, LOCKERS, DISPLAYS & DISPLAY SHELVING & LIGHTING, BOOTHS, SPECIAL LIGHT FIXTURES, MOVING EXISTING A.C. UNITS	220,000.00T
* SPECIAL NOTE * - ADD CLOUDS @ \$7,000 EACH, OPEN CEILINGS TO REMAIN	
PATIO, including: AWNINGS & STRUCTURE CLADDED FIBER PANELS STOREFRONT NOT INCLUDED: PAVERS, PARKING ALTERATIONS, LANDSCAPE, PLANTER BOXES, RAILINGS EXTERIOR LIGHTING	158,000.00T

Subtotal	\$488,000.00
Sales Tax (8.25%)	\$40,260.00
Total	\$528,260.00

Approval Signature and Date: _____



5311 Rose St, | Houston, TX 77007

SITE ISO

VINO & VINYL

Scale

5/22/2026 9:57:24 AM

PRELIMINARY DRAWING, PREPARED UNDER THE SUPERVISION OF BRINN MIRACLE, TBAE #23867
NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION.



5311 Rose St, | Houston, TX 77007

SITE VIEW

VINO & VINYL

Scale 12" = 1'-0"

5/22/2026 9:57:24 AM

PRELIMINARY DRAWING, PREPARED UNDER THE SUPERVISION OF BRINN MIRACLE, TBAE #23867
NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION.



5311 Rose St, | Houston, TX 77007

SITE VIEW

VINO & VINYL

Scale 12" = 1'-0"

5/22/2026 9:57:24 AM

PRELIMINARY DRAWING, PREPARED UNDER THE SUPERVISION OF BRINN MIRACLE, TBAE #23867
NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION.



5311 Rose St, | Houston, TX 77007

SITE VIEW

VINO & VINYL

Scale 12" = 1'-0"

5/22/2026 9:57:24 AM

PRELIMINARY DRAWING, PREPARED UNDER THE SUPERVISION OF BRINN MIRACLE, TBAE #23867
NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION.



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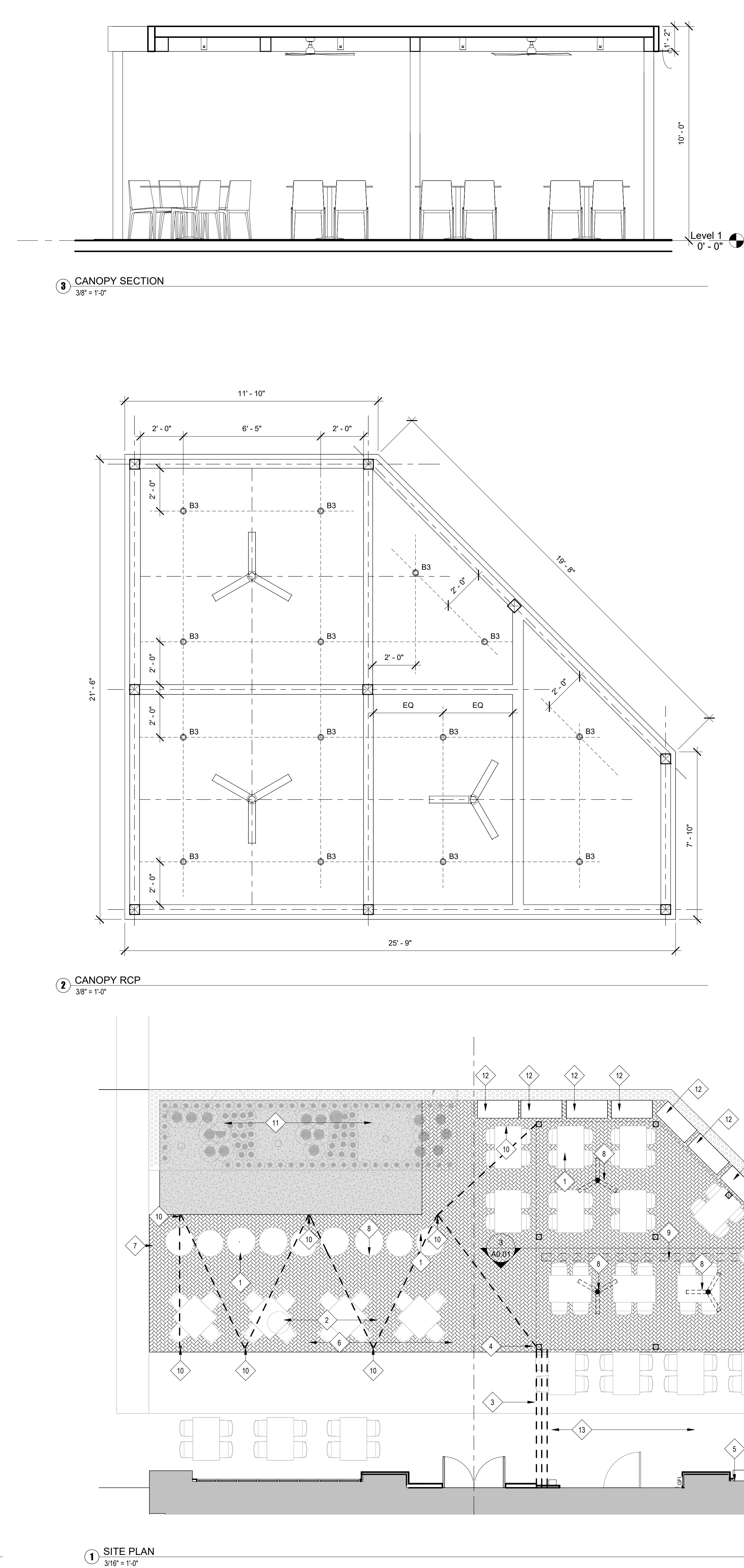
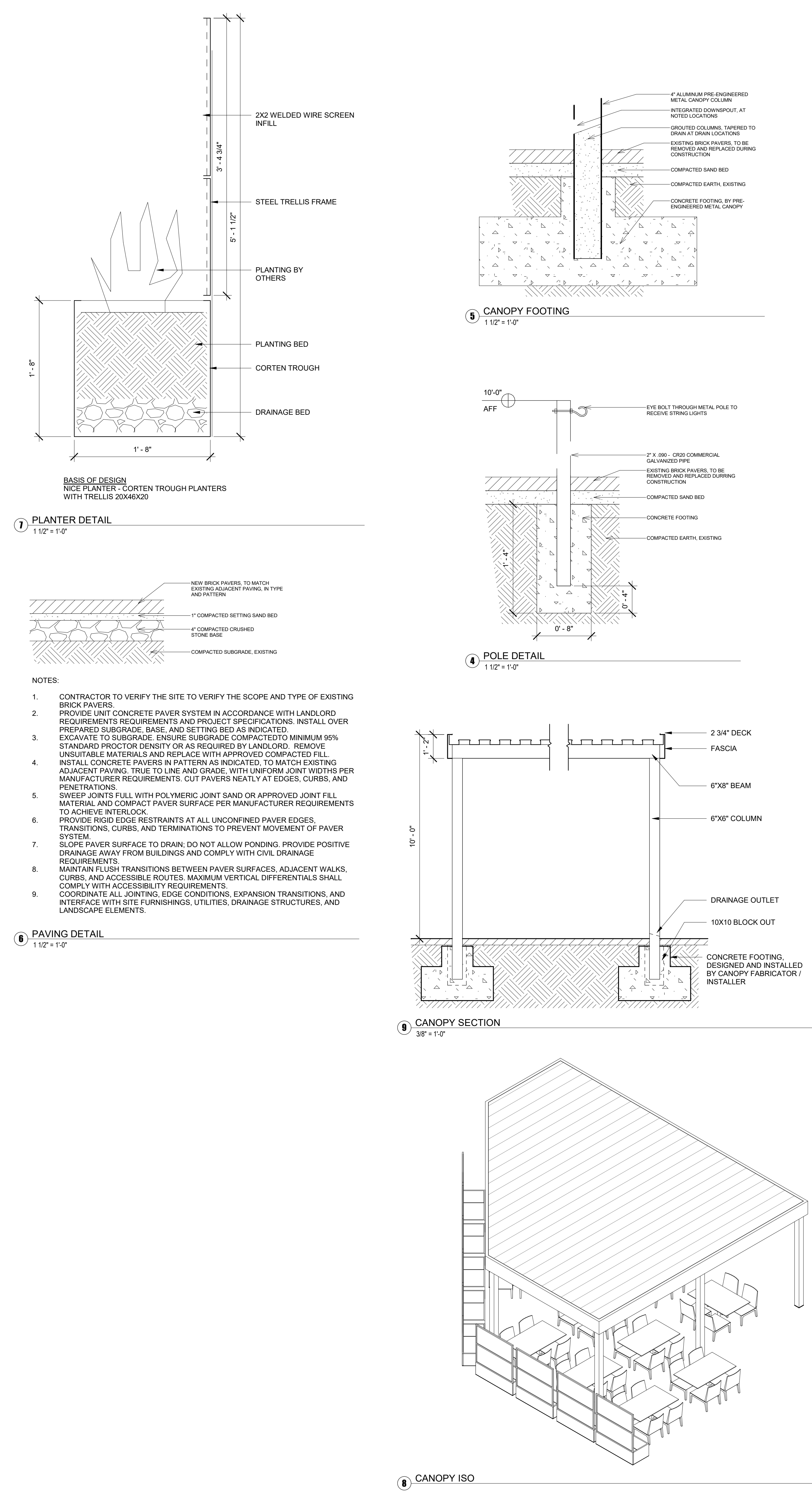
EXTERIOR ELEVATION

VINO & VINYL

Scale 12" = 1'-0"

5/22/2026 9:57:25 AM

PRELIMINARY DRAWING, PREPARED UNDER THE SUPERVISION OF BRINN MIRACLE, TBAE #23867
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PROTECTIVE COVERS

ALTERNATE: PROVIDE ALTERNATE PRICING FOR BLACK FLUOROPOLYMER COATING ON DOOR AND WINDOW FRAMES IN LIEU OF BLACK ANODIZED.

GENERAL

A. APPROVE PREFABRICATED METAL PROTECTIVE COVERS INCLUDING CANOPIES, WALKWAY COVERS, AND OVERHEAD PROTECTION SYSTEMS COMPLETE WITH ALL STRUCTURAL MEMBERS, DECKING, FLASHING, FASTENERS, AND ACCESSORIES. SYSTEM SHALL BE PRE-ENGINEERED AND DESIGNED TO COMPLY WITH APPLICABLE BUILDING CODES AND ASCE 7 LOAD REQUIREMENTS.

B. SUBMIT PRODUCT DATA, SHOP DRAWINGS (SEALED BY LICENSED ENGINEER), AND FINISH SAMPLES FOR APPROVAL PRIOR TO FABRICATION.

MATERIALS

A. PRIMARY MATERIAL: EXTRUDED ALUMINUM (ALLOYS 6061, 6063, OR 6005) IN ACCORDANCE WITH ASTM STANDARDS.

B. DECKING: INTERLOCKING METAL PANELS OR EXTRUDED ALUMINUM SYSTEMS, MIN. THICKNESS 0.025" - 0.080" AS REQUIRED BY DESIGN.

C. STRUCTURE: EXTRUDED OR ROLL-FORMED BEAMS, COLUMNS, AND FRAMING MEMBERS WITH INTERNAL DRAINAGE WHERE APPLICABLE.

D. FASTENERS: STAINLESS STEEL OR GALVANIZED STEEL, COMPATIBLE WITH SUBSTRATES. PROVIDE NEOPRENE WASHERS AT EXTERIOR CONDITIONS.

E. SEALANTS: 100% SILICONE, CLEAR OR COLOR MATCHED.

PERFORMANCE REQUIREMENTS

A. DESIGN LOADS: AS REQUIRED BY LOCAL CODE; MINIMUM LIVE LOAD 20 PSF (VERIFY PER PROJECT).

B. WIND LOAD: DESIGN PER PROJECT LOCATION (TYP. 90-140 MPH RANGE). DEFLECTION LIMIT: L/120 MAX.

C. THERMAL MOVEMENT: SYSTEM SHALL ACCOMMODATE EXPANSION/CONTRACTION WITHOUT FAILURE.

FABRICATION

A. SHOP FABRICATE TO MAXIMUM EXTENT; PROVIDE PRE-ASSEMBLED COMPONENTS READY FOR INSTALLATION.

B. WELDING SHALL COMPLY WITH American Welding Society STANDARDS.

C. PROVIDE FACTORY-FABRICATED CONNECTIONS, CLIPS, AND DRAINAGE FEATURES.

FINISHES

FACTORY APPLIED COATINGS COMPLYING WITH AAMA 2603/2604/2605 AS SELECTED. ACCEPTABLE FINISHES:

- ANODIZED (CLEAR OR BRONZE)
- POLYESTER / SUPER POLYESTER COATING
- PVDF (FLUOROPOLYMER) COATING
- SPECIALTY WOODGRAIN FINISH

COLOR: AS SELECTED BY ARCHITECT FROM MANUFACTURER'S STANDARD RANGE.

INSTALLATION

A. INSTALL IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS AND APPROVED SHOP DRAWINGS.

B. SET MEMBERS PLUMB, LEVEL, AND TRUE; PROVIDE SECURE ANCHORAGE TO STRUCTURE.

C. COORDINATE WITH ADJACENT WORK INCLUDING STRUCTURAL SUPPORTS AND FLASHING.

QUALITY / WARRANTY

A. MANUFACTURER: MINIMUM 5-10 YEARS EXPERIENCE WITH SIMILAR SYSTEMS.

B. INSTALLER: QUALIFIED WITH SIMILAR PROJECT EXPERIENCE.

C. WARRANTY: PROVIDE MINIMUM 1-YEAR (OR MANUFACTURER STANDARD) WARRANTY; EXTENDED FINISH WARRANTIES WHERE APPLICABLE.

KEYNOTES - SITE PLAN	
NO.	NOTE
1	FURNITURE BY OWNER, TYP.
2	EXISTING MAN HOLE COVER, SEAL AND COVER.
3	PROVIDE UNDERGROUND UTILITIES FOR POWER, NATURAL GAS, AND SPEAKER AV EXTENSION TO THE NEW CANOPY
4	STRING LIGHTS, TIED INTO CANOPY ELECTRICAL
5	NEW RECESSED HOSE BIB UNDER BAR, EXTENDED FROM EXISTING WATER LINES
6	CONTRACTOR TO CONFIRM EXTENT OF EXISTING PAVING, AND AREAS REQUIRING ADDITIONAL PAVING, PROVIDE EXTENT INDICATED MINIMUM
7	NEW PRE ENGINEERED METAL CANOPY
8	CEILING FAN FROM CANOPY DECK
9	NATURAL GAS OUTDOOR HEATER
10	10' GALVENIZED POLE, RE DETAIL
11	EXISTING TREES AND PLANTING TO REMAIN, PROTECT DURING COURSE OF CONSTRUCTION
12	20 X 46 - CORTEN PLANTER TROUGH WITH TRELLIS, PLANTING BY OWNER
13	EXISTING SIDEWALK TO REMAIN

5311 Rose St. | Houston, TX 77007

Consultants

Seal

PRELIMINARY DRAWING, PREPARED UNDER THE SUPERVISION OF BRINN MIRACLE, TBAE #23867, NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION.

Issue Log

#	Date	Description
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Project Info

VINO & VINYL
15977 City Walk
Sugar Land, TX 77479

Sheet

SITE

A0.01

Scale As indicated

5/22/2026 10:04:22 AM

Page 45 of 52

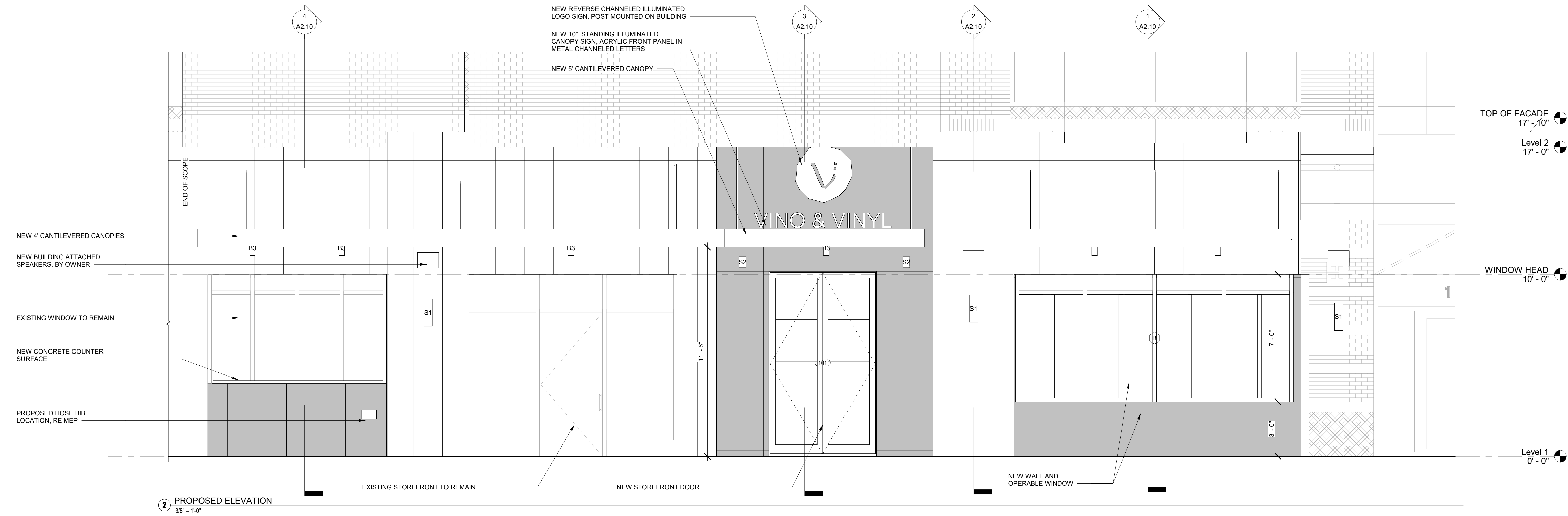
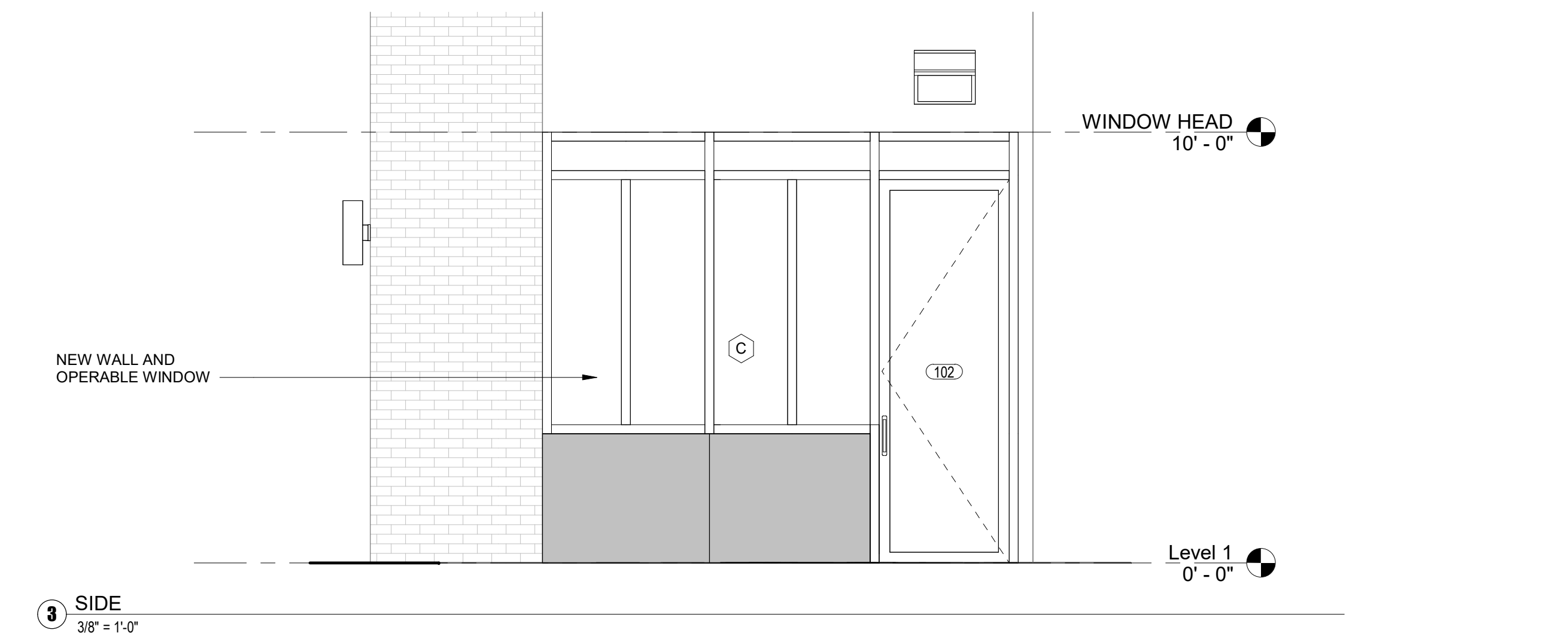
LEGEND

GENERAL NOTES

1. COORDINATE FLASHING ELEMENTS AND COLOR MATCH TO ADJACENT SURFACE WHERE APPROPRIATE
2. PROVIDE MOCKUP OF EXTERIOR FINISH ITEMS, FOR EVALUATION AGAINST EXISTING BUILDING
3. ALL EXTERIOR WALL MOUNTED ACCESSORIES AND PENETRATIONS TO BE FINISHED TO MATCH THE EXTERIOR WALL COLOR, U.N.O.
4. ANY CONDITIONS / SELECTIONS THAT ARE UNCLEAR TO THE CONTRACTOR TO BE BROUGHT TO THE ARCHITECT'S ATTENTION BEFORE PROCEEDING
5. CONTRACTOR TO FOLLOW COMPLY WITH MANUFACTURERS INSTALLATION METHODS FOR ALL EXTERIOR FINISH ITEMS, TO MAINTAIN QUALITY AND WARRANTY.
6. HATCH PATTERNS ARE SHOWN FOR CONTRASTING ACCENT AREAS AND ARE NOT INDICATIVE OF FINISH COLOR / TYPE.

XWT-1
NEOLITH - IRON CORTEN
6MM - 63" X 126" CUT FOR LAYOUT
DIRECT ADHERED
GROUT JOINT: 1/8" - TBD

XWT-2
DAL TILE - CONCRETE MASONRY GREIGE
5/16" - 15"X30"
DIRECT ADHERED
GROUT JOINT: 1/8" - TBD



ARCHITANGENT

5311 Rose St. | Houston, TX 77007

Consultants

Seal

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APPROVAL, PERMITTING, OR
CONSTRUCTION.

Issue Log

#	Date	Description
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Project Info

VINO & VINYL
15977 City Walk
Sugar Land, TX 77479

Sheet

OVERALL
EXTERIOR
ELEVATIONS

A2.01

Scale As indicated

Complete_with_Docusign_12_VV_Retail_Refresh

Final Audit Report

2026-06-08

Created:	2026-06-08
By:	Jeff Storer (jstorer@pennybackercap.com)
Status:	Signed
Transaction ID:	CBJCHBCAABAAIw9bgnPO8w9o8m239f3jzBNGCqdGyO_j

"Complete_with_Docusign_12_VV_Retail_Refresh" History

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2026-06-08 - 8:06:58 PM GMT
-  Document emailed to Jason Dean (jdean@pennybackercap.com) for signature
2026-06-08 - 8:07:26 PM GMT
-  Email viewed by Jason Dean (jdean@pennybackercap.com)
2026-06-08 - 8:07:54 PM GMT
-  Document e-signed by Jason Dean (jdean@pennybackercap.com)
Signature Date: 2026-06-08 - 8:08:36 PM GMT - Time Source: server - Signature Appearance Selected: DRAW
-  Agreement completed.
2026-06-08 - 8:08:36 PM GMT



Sugar Land 4B Corporation Agenda Request

July 15, 2026

Agenda Request No: VI.A.

Agenda of: Sugar Land 4B Corporation Meeting

Initiated by: Justyn Mejorado, Assistant Director of Budget

Presented by: Justyn Mejorado, Assistant Director of Budget

Responsible Department: Budget

Agenda Caption:

FY 2027 BUDGET WORKSHOP

Review of and discussion on the proposed budget for the Sugar Land 4B Corporation for Fiscal Year 2027.

Recommended Action:

Review and discuss the proposed Fiscal Year 2027 budget for the Sugar Land 4B Corporation.

Executive Summary:

The Sugar Land 4B Corporation's current fiscal year ends on September 30, 2026, and pursuant to the Corporation's bylaws, the Corporation shall approve a budget of expected revenues and proposed expenditures for the next fiscal year prior to the end of the current fiscal year. The following summary covers the financial information on the attached financial statement in more detail.

FY26 Projections

Total projected revenues for FY26 are \$10.9 million. This includes \$10.3 in sales tax and \$0.6 million in interest income.

Total expenditures are projected to remain within the original budget of \$11.9 million, with \$1.9 million remaining in Reserve for Opportunities as of the end of June.

The projected ending fund balance is \$15.6 million, exceeding the Corporation's minimum fund balance policy requirement of \$1.4 million by approximately \$14.1 million. The policy requires the Corporation to maintain a minimum fund balance equal to 15% of annual budgeted sales tax revenues.

FY27 Proposed Budget

Total revenues are projected at \$11.0 million, including \$10.5 million in sales tax revenue and \$0.5 million in interest income.

Proposed expenditures total \$13.2 million and include the following:

- **Economic Development Program (\$0.5 million)** – Provides funding for ongoing operations, including marketing, business relations, and other economic development initiatives.
- **Cultural Arts (\$18,000)** – FY27 creates a dedicated Cultural Arts Division budget within the 4B Corporation which supports the operational needs required to deliver cultural arts projects and programs, including public art administration, artist recruitment, community engagement, marketing, and event support, while improving transparency and accountability for these expenditures.
- **Sponsorships (\$0.5 million)** – Includes the final \$300,000 commitment for FIFA World Cup 2026 incentives and \$250,000 for the second year of Town Center events.
- **Debt Service (\$1.7 million)** – Provides funding for annual debt service payments on the Corporation's outstanding Sales Tax Revenue Bonds.
- **Reserve for Opportunities (\$2 million)** – Maintains funding capacity for future economic development opportunities that may arise during the fiscal year.
- **Incentives (\$1.5 million)** – Includes \$1.5 million for the Town Square Revitalization project and \$70,000 for potential sales tax incentive payments related to the First Colony Mall Lifestyle Center.
- **Capital Projects (\$2.7 million)** - Includes \$300,000 for FUN Grants and \$2.4 million for park improvements.
- **Transfer to General Fund (\$1.7 million)** – Includes \$1.2 million for personnel costs associated with General Fund employees who support Corporation activities and \$0.5 million for allocated internal service costs.
- **Transfer to Debt Service (\$2.3 million)** – funds payments on debt issued for the Imperial land acquisition in FY25.
- **Transfer to Public Art Fund (\$0.1 million)** – Includes a reduced transfer from the prior year, allowing existing fund balance within the Public Art Fund to be utilized alongside the FY27 transfer to support approximately \$345,000 in eligible public art expenditures.

Financial Position

The proposed FY27 budget is projected to end with a fund balance of \$13.3 million, exceeding the Corporation's minimum fund balance policy requirement by approximately

\$11.8 million.

The projected bond coverage ratio is 6.27x, significantly exceeding the minimum required ratio of 1.25x, demonstrating the Corporation's continued strong financial position.

Budget

Expenditure Required: N/A

Current Budget: N/A

Additional Funding: N/A

Funding Source: N/A

Account Number (ORG-OBJ-Project): N/A

Attachments

1. FY27 SL4B Income Statement - as of 6-30-26

CITY OF SUGAR LAND
SUGAR LAND 4B CORPORATION
FUND STATEMENT

	FY25 Actuals	FY26 Current Budget	FY26 Projections	FY27 Base Budget	FY27 Changes	FY27 Budget
REVENUES						
Sales Tax	\$ 9,913,384	\$ 9,514,394	\$ 10,330,478	\$ 10,480,240	\$ -	\$ 10,480,240
Interest Income	835,763	650,000	575,000	520,000	-	520,000
Operating Revenues	10,749,147	10,164,394	10,905,478	11,000,240	-	11,000,240
TIRZ#1	71,414	-	-	-	-	-
Miscellaneous	80,053	-	-	-	-	-
Non-Operating Revenues	151,467	-	-	-	-	-
Total Revenues	10,900,614	10,164,394	10,905,478	11,000,240	-	11,000,240
EXPENDITURES						
Economic Development Program	307,778	527,170	527,170	527,170	-	527,170
Cultural Arts	-	-	-	18,000	-	18,000
Sponsorships	250,000	500,000	500,000	550,000	-	550,000
Total Operating Expenditures	557,778	1,027,170	1,027,170	1,095,170	-	1,095,170
Debt Service	2,016,425	1,738,550	1,738,550	1,748,800	-	1,748,800
Reserve for Opportunities	-	1,989,744	1,989,744	2,000,000	-	2,000,000
Incentives	9,028,489	893,000	893,000	1,570,000	-	1,570,000
Transfers to Capital Projects	1,423,988	2,110,256	2,110,256	2,710,000	-	2,710,000
Transfer to General Fund	1,194,526	1,354,045	1,354,045	1,715,457	-	1,715,457
Transfer to Debt Service Fund	-	2,636,582	2,636,582	2,282,132	-	2,282,132
Transfer to Public Art Fund	250,000	250,000	250,000	97,400	-	97,400
Total Non-Operating Expenditures	13,913,428	10,972,177	10,972,177	12,123,789	-	12,123,789
Total Expenditures	14,471,206	11,999,347	11,999,347	13,218,959	-	13,218,959
Fund Balance - Beginning	20,262,699	16,692,107	16,692,107	15,598,238		15,598,238
Revenues Over/(Under) Expenditures	(3,570,592)	(1,834,953)	(1,093,869)	(2,218,719)	-	(2,218,719)
Fund Balance - Ending	16,692,107	14,857,154	15,598,238	13,379,519	-	13,379,519
Debt Service Reserve	(2,004,426)	(2,092,277)	(2,092,277)	(1,517,000)		(1,517,000)
Fund Balance - Available	\$ 14,687,681	\$ 12,764,877	\$ 13,505,961	\$ 11,862,519	\$ -	\$ 11,862,519
Minimum Fund Balance (15% of Sales Tax)		1,427,159	1,427,159	1,572,036		1,572,036
Over/Under Policy		13,429,995	14,171,079	11,807,483		11,807,483
Bond Coverage Ratio (Min. 1.25x)		5.81	6.24	6.27		6.27



Sugar Land 4B Corporation Agenda Request

July 15, 2026

Agenda Request No: VII.A.

Agenda of: Sugar Land 4B Corporation Meeting

Initiated by: Nicole Fontenette, Agenda & Public Meeting Coordinator

Presented by: Devon Rodriguez, Director of Redevelopment

Responsible Department: Admin

Agenda Caption:

- Marketing, Promotions, and Events
- Strategic and Capital Projects
- Business Recruitment and Retention Efforts

Recommended Action:

Receive the Director's Report.

Executive Summary:

Budget

Expenditure Required: NA

Current Budget: NA

Additional Funding: NA

Funding Source: NA

Account Number (ORG-OBJ-Project): NA

Attachments

None